

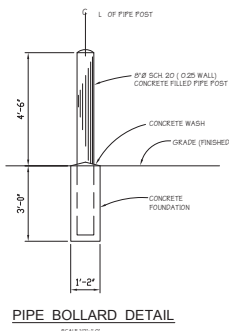
OVERALL SITE PLAN
SCALE: 1" = 30'-0"

GENERAL NOTES:

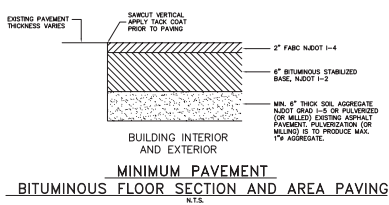
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
- EXISTING CONTOURS AND SPOT ELEVATIONS AS SHOWN ARE BASED ON A TOPOGRAPHIC SURVEY CONDUCTED BY T&M ASSOCIATES PERSONNEL. ELEVATIONS SHOWN ARE BASED ON AN NAD 83 VERTICAL DATUM.
- UTILITY LINES AS SHOWN ARE APPROXIMATE BASED ON PLANS ENTITLED "TIRE SYSTEM, NORTH YARD" PLAN No. 8004-C, DATED OCT. 1986, "DRINKING WATER LINES" PLAN No. 5015, "COMPRESSED AIR" "SEWER LINES, NORTH & SOUTH YARD" PLAN No. 9538, DATED 12/86, "NORTH YARD OIL LINES" PLAN No. 7784, DATED 10/84, "STEAM LINES, NORTH AND SOUTH YARDS" PLAN No. 8007, REVISED 7/14/86, PROVIDED BY SOUTH JERSEY PORT CORP. DESIGN/BUILDER IS RESPONSIBLE FOR VERIFYING UTILITY EXISTENCE/LOCATION PRIOR TO ANY CONSTRUCTION ACTIVITY. ADDITIONAL UTILITIES MAY EXIST THAT ARE NOT SHOWN ON THIS PLAN. ACTUAL LOCATIONS AND DEPTHS OF UTILITIES SHALL BE FIELD VERIFIED BY PERFORMING TEST PITS (8 REQUIRED) AND OTHER APPROVED UTILITY LOCATION METHODS FOR ALL EXISTING UTILITIES AND WHERE ALL PROPOSED UTILITIES CONNECT TO EXISTING. THE DESIGN/BUILDER SHALL EXCAVATE TEST PITS PRIOR TO COMMENCING WORK AT NO ADDITIONAL COST TO THE OWNER. ANY DISCREPANCIES OR APPARENT CONFLICTS SHALL BE CALLED TO THE ATTENTION OF THE OWNER'S CONSULTANT FOR INTERPRETATION. DESIGN/BUILDERS ARE ADVISED TO CALL 1-800-272-1000 BEFORE COMMENCING CONSTRUCTION FOR A MARKOUT OF EXISTING UTILITIES.
- PROPERTY LINES SHOWN ARE BASED ON CURRENT CITY OF CAMDEN TAX MAP SHEETS No. 116, 126, AND 128.
- FLOOD ZONE AS (EL10) PER FEMA FIRM MAP COMMUNITY-PANEL NUMBER 340128 0205 B, EFFECTIVE DATE 12-1-81.

BUILDING SPECIFICATIONS

- USE GROUP: S-1
- AREA OF LARGEST FLOOR: ~70,200 sf
- GROSS AREA OF BUILDING: 70,200 sf
- TOTAL VOLUME: 2,246,400 of
- No. OF STORIES: 1
- MAXIMUM HEIGHT: 32 Feet
- CONSTRUCTION TYPE: IIB
- MATERIALS TO BE STORED: PLYWOOD, COCOA BEANS
- NOTE: THIS BUILDING WILL HAVE A DRY PIPE SPRINKLE SYSTEM
- GOVERNING CONSTRUCTION CODES:
 - IBC 2006
 - IBC NFPA
 - NSPC 2006
 - JMC 2006
 - NEC 2005



PIPE BOLLARD DETAIL
SCALE: 1/2" = 1'-0"

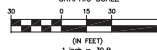


MINIMUM PAVEMENT
BITUMINOUS FLOOR SECTION AND AREA PAVING
SCALE: 1/2" = 1'-0"

LEGEND:

- PROPERTY LINE
- SPOT ELEVATION
- EXISTING CONTOUR LINE
- FENCE
- RAILROAD TRACKS
- LOCATION OF PRELIMINARY SOIL BORING

AREA	NO.	DATE	DATE
1	1	1	1
2	2	2	2
3	3	3	3
4	4	4	4
5	5	5	5
6	6	6	6
7	7	7	7
8	8	8	8
9	9	9	9
10	10	10	10



GENERAL REVISION	DATE	BY	REASON
1	1	1	1
2	2	2	2
3	3	3	3
4	4	4	4
5	5	5	5
6	6	6	6
7	7	7	7
8	8	8	8
9	9	9	9
10	10	10	10

NEW TRANSIT SHED BUILDING
SOUTH JERSEY PORT CORPORATION
BROADWAY TERMINAL - 2500 BROADWAY
CAMDEN, NEW JERSEY

S.T. HUDSON ENGINEERS, INC.
PROFESSIONAL ENGINEERS & CONSULTANTS
840 Cooper Street
P.O. Box 8100
Camden, N.J. 08101
Fax No. 856-342-8323

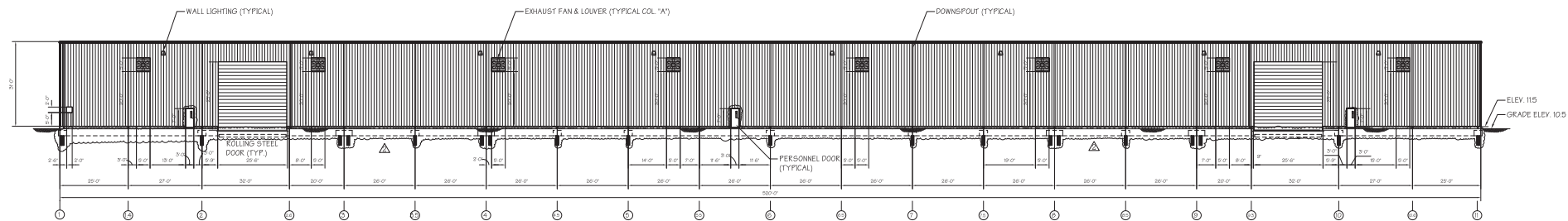
JOHN D. LAWRENCE
901 ALMONESSE ROAD
WESTVILLE, NJ 08093

drawn: STAFF date: 3-14-2008
checked: FILE L-1107
drftg. approval: FILE L-1107

BUILDING FOUNDATION
OVERALL SITE PLAN

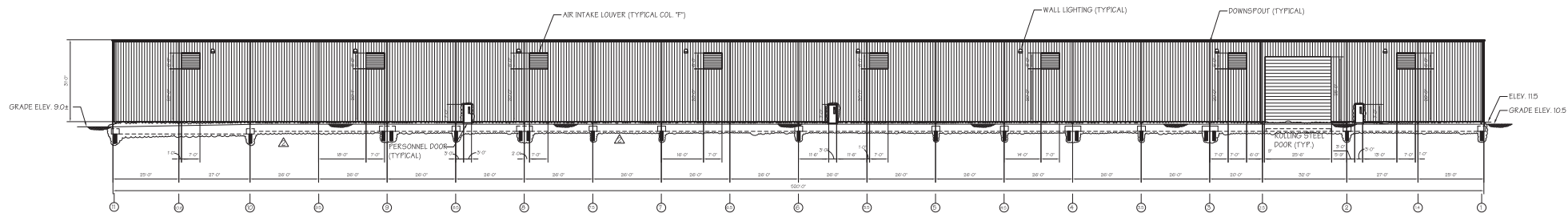
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Sheet: G-1 of 3



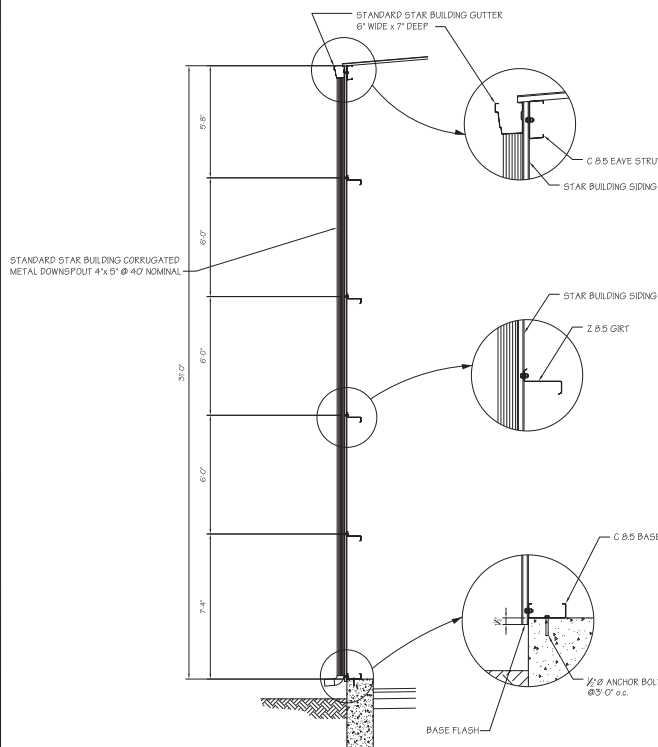
FRONT ELEVATION ALONG "A" LINE

SCALE: 1/16" = 1'-0"



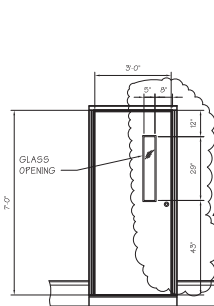
BACK ELEVATION ALONG "F" LINE

SCALE: 1/16" = 1'-0"

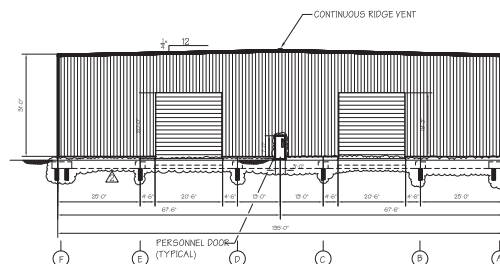


TYPICAL SECTION (SHOWN AT COL. 7.5)

SCALE: 3/8" = 1'-0"

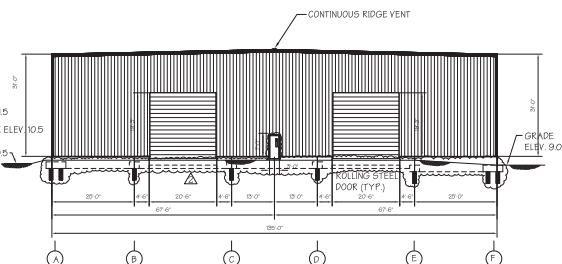


SECTION



LEFTSIDE ELEVATION AT LINE "1"

SCALE: 1/16" = 1'-0"



RIGHTSIDE ELEVATION AT LINE "11"

SCALE: 1/16" = 1'-0"

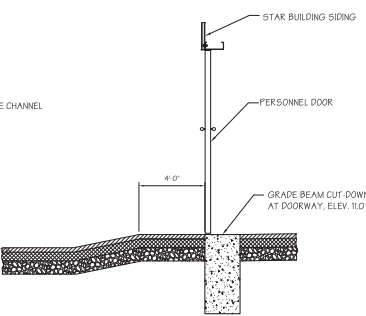
GUTTER AND DOWNSPOUT CALCULATION

NSPC TABLES 13.6.1 AND 13.6.3
GUTTERS = 43 Sq. IN. (10.5"Ø SEMICIRCULAR EQUIVALENT).
DOWNSPOUTS = 20 Sq. IN. (5" EQUIVALENT) @ 26" MAXIMUM.
REQUIRED PROJECTED ROOF AREA FOR GUTTERS AND DOWNSPOUTS 26" x 67.5" = 1800 SF

VARIATION No. 05-32-08 GRANTED - NO RESTROOMS REQUIRED.

NOTES:

1. ALL WALL SIDING IS STAR BUILDING 26 GAGE DURA RIB METAL PANELS, UNSULNATED.
2. ALL ROOFING IS STAR BUILDING 24 GAGE DOUBLE LOCK PANELS, UNSULNATED.
3. ALL PERSONNEL DOORS ARE AMWELD BUILDING PRODUCTS 1/2" x 3' x 7' FULL FLUSH AND SEAMLESS SLO 16 GA CORE STEEL DOORS, WITH 16 GA STEEL FRAME, 16" x 16" TEMPERED GLASS LITE KIT, ANSI GRADE 1 MORTISE LOCKSET, AND 4040 SERIES CLOSER.
4. ALL DRAINAGE GUTTERS AND DOWNSPOUTS ARE IN COMPLIANCE WITH THE NSPC 2006 CODE.



SECTION
TYPICAL DOOR

SCALE: NONE

[illegible]



SCALE: 1/16" = 1'-0"



SCALE: 1/16" = 1'-0"



SCALE: 1/16" = 1'-0"



SCALE: 1/16" = 1'-0"



SCALE: 1/16" = 1'-0"

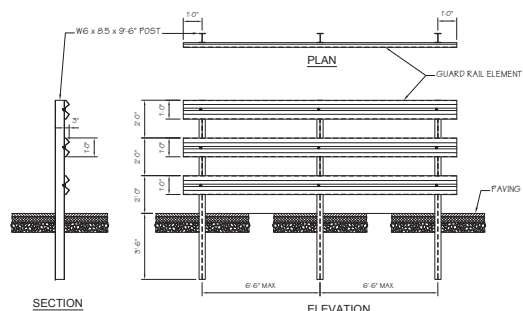
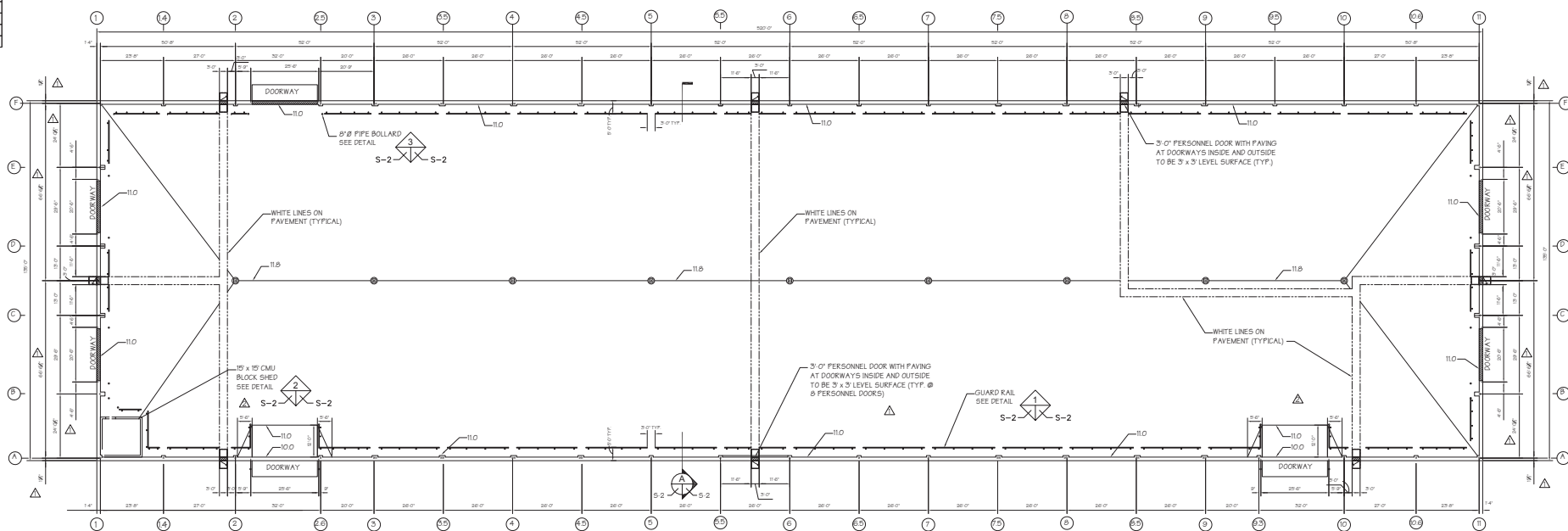


SCALE: 1/4" = 1'-0"

Notes:

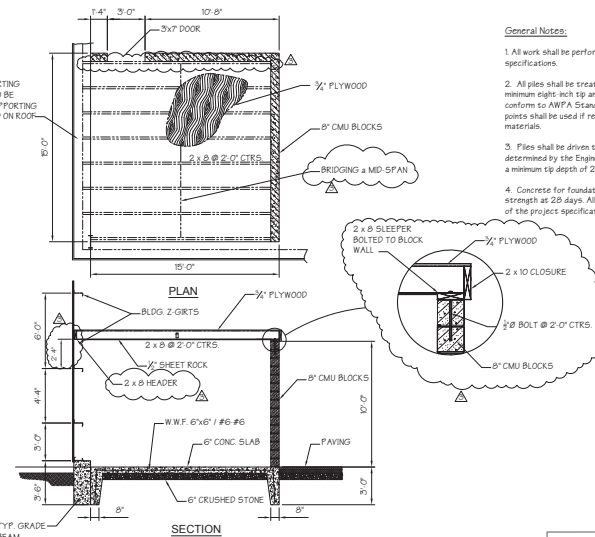
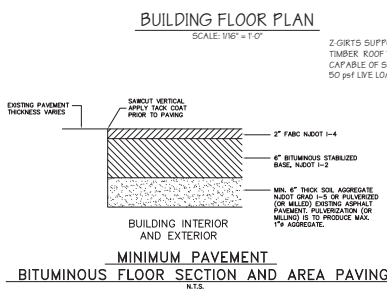
1. All anchor bolt locations for the building columns and location of outside of concrete grade beam, shall be verified with Star Building drawings prior to construction.

S.T. HUDSON ENGINEERS, INC.			
PROFESSIONAL ENGINEERS & CONSULTANTS			
		840 Cooper Street P.O. Box 5105 Camden, N.J. 08101 856-342-8600	
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JOHN D. LAWRENCE			
901 ALMONESTOWN ROAD			
WESTVILLE, NJ 08093			
drawn	STAFF	date	9-14-2006
checked		FILE	L-1107
drftg. approval			146347
BUILDING FOUNDATION			
PILE CAP AND FOUNDATION PLAN			
		dep. no.	S-1 3



GUARD RAIL DETAIL

SCALE: 3/8" = 1'-0"



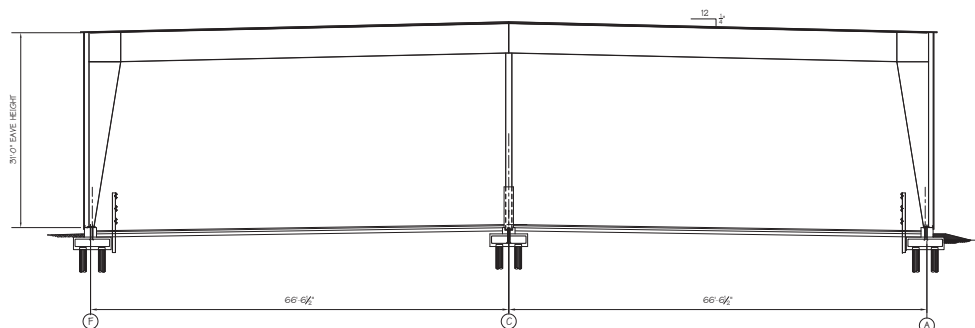
15'x15' SHED DETAIL

SCALE: 1/4" = 1'-0"



General Notes:

1. All work shall be performed in accordance with the project specifications.
2. All piles shall be treated timber piles conforming to ASTM 25 with a minimum eight-inch tip and twelve-inch butt. Fire treatment shall conform to NFPA Standard C3 with 12 pct net retention. Armored pipes shall be used if required to penetrate hard miscellaneous fill materials.
3. Piles shall be driven to an allowable bearing capacity of 20 tons as determined by the Engineering News Formula. Piles shall be installed to a minimum tip depth of 20 feet, then driven to required capacity.
4. Concrete for foundations shall have 4000 psi ultimate compressive strength at 28 days. All concrete work shall conform to the provisions of the project specifications.



TYPICAL SECTION

SCALE: 1/8" = 1'-0"



△	REVISION	GENERAL REVISION	
△	REVISION	GENERAL REVISION	
△	REVISION	REVISED DIMENSIONS	

		approvals	
type		approved by	for
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description			
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NEW TRANSIT SHED BUILDING
SOUTH JERSEY PORT CORPORATION
BROADWAY TERMINAL - 2500 BROADWAY
CAMDEN, NEW JERSEY

S.T. HUDSON ENGINEERS, INC.
PROFESSIONAL ENGINEERS & CONSULTANTS

 540 Cooper Street
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Fax No. 856-342-6323

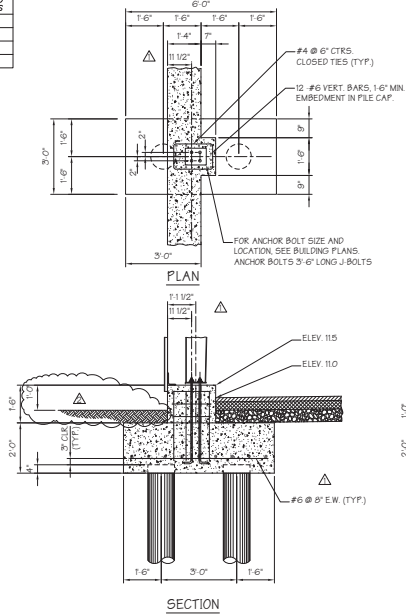
JOHN D. LAWREN
901 ALMONESSON RD.
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drawn	STAFF	date	3-14-2008	contract
checked		FILE	1-1107	10634

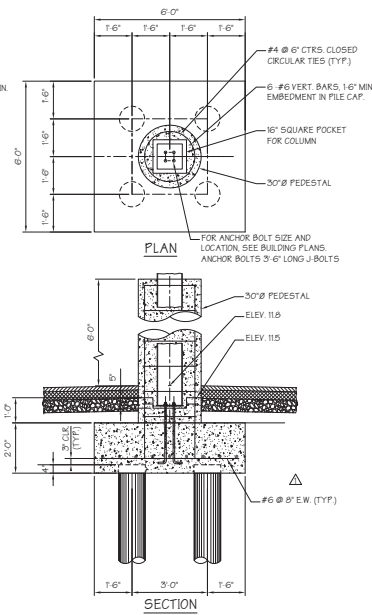
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FINISH FLOOR PLAN, SECTION AND DETAIL	S-2	3
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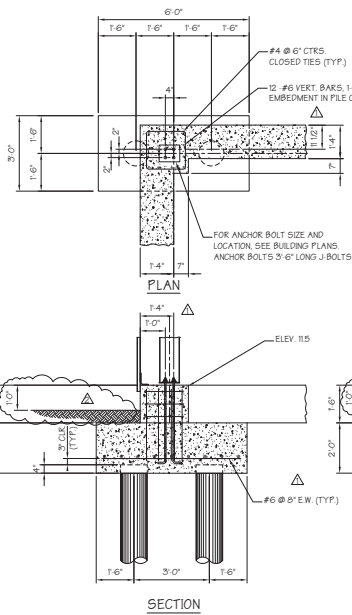
ISSUED PRINTS



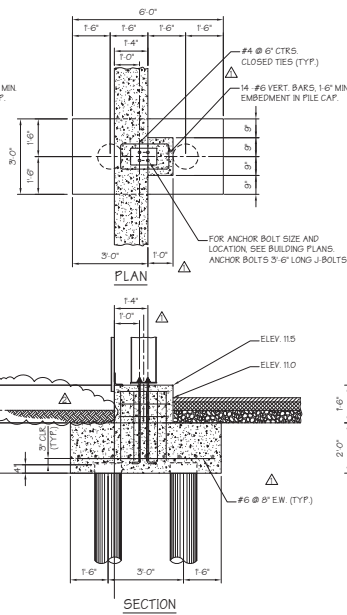
TYPICAL EXCEPT AS SHOWN ON PLAN
PC-1 PILE CAP DETAIL



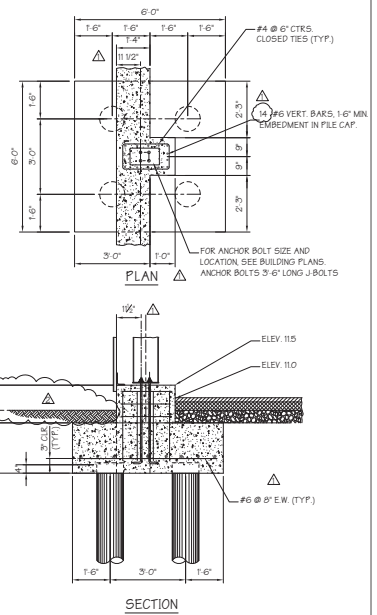
TYPICAL EXCEPT AS SHOWN ON PLAN
PC-2 PILE CAP DETAIL



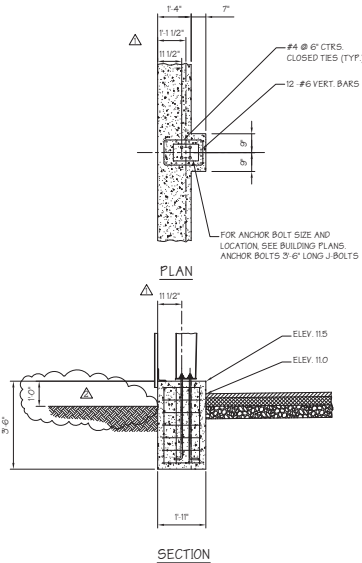
TYPICAL EXCEPT AS SHOWN ON PLAN
PC-3 PILE CAP DETAIL



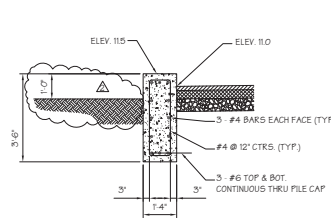
TYPICAL EXCEPT AS SHOWN ON PLAN
PC-4 PILE CAP DETAIL



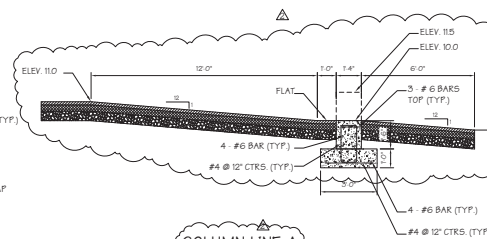
TYPICAL EXCEPT AS SHOWN ON PLAN
PC-5 PILE CAP DETAIL



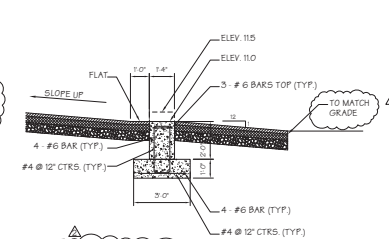
TYPICAL EXCEPT AS SHOWN ON PLAN
PC-6 PILE CAP DETAIL



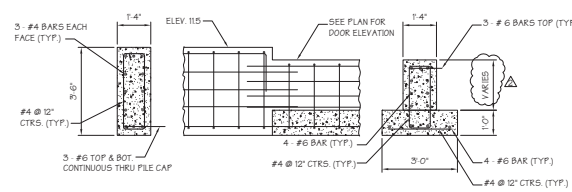
TYPICAL GRADE BEAM



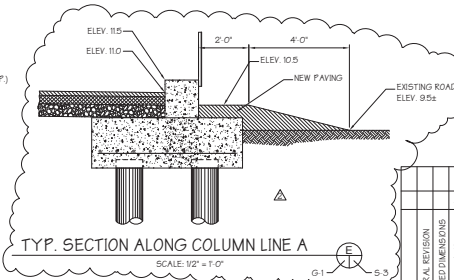
COLUMN LINE A
SECTION @ 25' DOORWAY



COLUMN LINES 1, 11, AND F
SECTION @ 20'-6" AND 25' DOORWAY



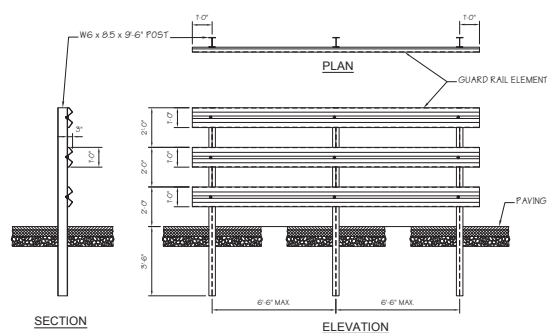
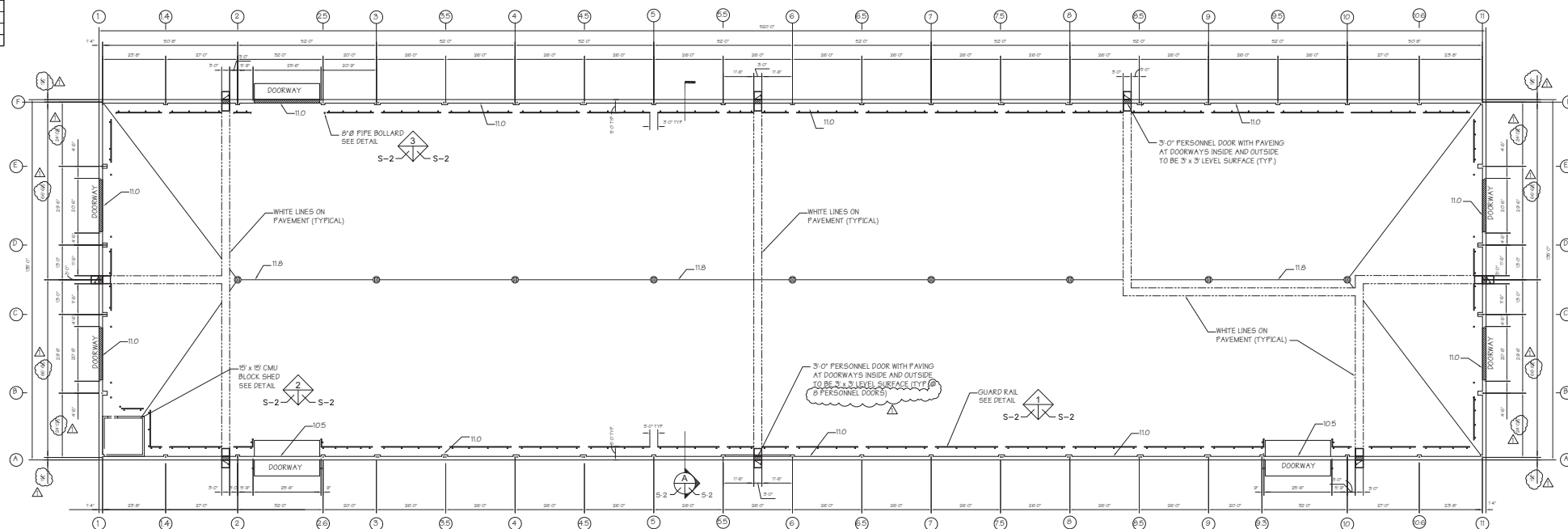
DETAIL @ DOORWAY



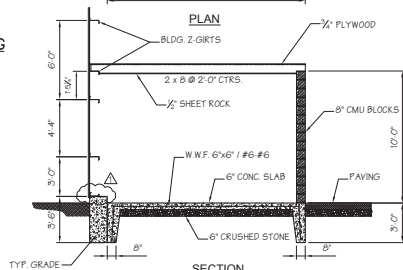
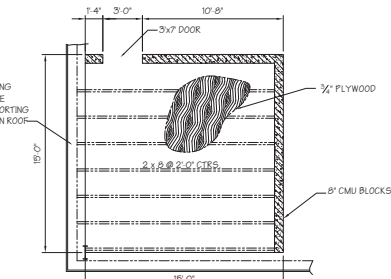
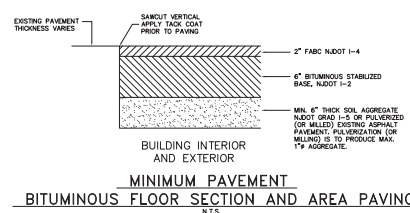
TYP. SECTION ALONG COLUMN LINE A

Notes:
1. All anchor bolts locations for the building columns and location of outside of concrete grade beam, shall be verified with Star Building drawings prior to construction.

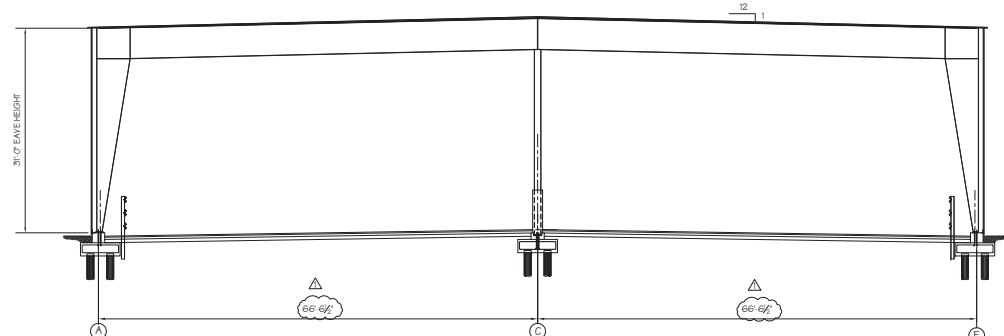
NEW TRANSIT SHED BUILDING SOUTH JERSEY PORT CORPORATION BROADWAY TERMINAL - 2500 BROADWAY CAMDEN, NEW JERSEY			
S.T. HUDSON ENGINEERS, INC. PROFESSIONAL ENGINEERS & CONSULTANTS 840 Cooper Street P.O. Box 9108 Camden, N.J. 08101 856-342-8323			
JOHN D. LAWRENCE 901 ALMONesson ROAD WESTVILLE, NJ 08093			
drawn	STAFF	date	3-14-2008
checked	FILE	L-1107	14-0347
BUILDING FOUNDATION			dep. no.
SECTIONS & DETAILS			rev.



GUARD RAIL DETAIL



15'x15' SHED DETAIL



TYPICAL SECTION

SCALE: 1/8" = 1'-0"

General Notes:

1. All work shall be performed in accordance with the project specifications.
2. All piles shall be treated timber piles conforming to ASTM-25 with a minimum eight-inch tip and twelve-inch butt. Pile treatment shall conform to AWWA Standard C3 with 12 pct net retention. Armored points shall be used if required to penetrate hard miscellaneous fill materials.
3. Piles shall be driven to an allowable bearing capacity of 20 tons as determined by the Engineering News Formula. Piles shall be installed to a minimum tip depth of 20 feet, then driven to required capacity.
4. Concrete for foundations shall have 4000 psi ultimate compressive strength at 28 days. All concrete work shall conform to the provisions of the project specifications.

NEW TRANSIT BUILDING
SOUTH JERSEY PORT CORPORATION
BROADWAY TERMINAL - 2500 BROADWAY
CAMDEN, NEW JERSEY

S.T. HUDSON ENGINEERS, INC.
PROFESSIONAL ENGINEERS & CONSULTANTS

 840 Cooper Street
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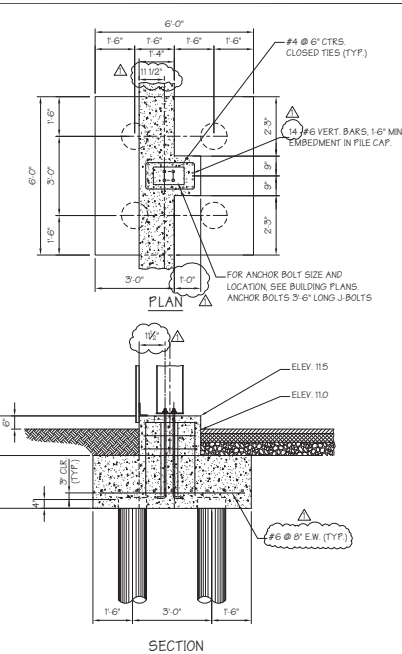
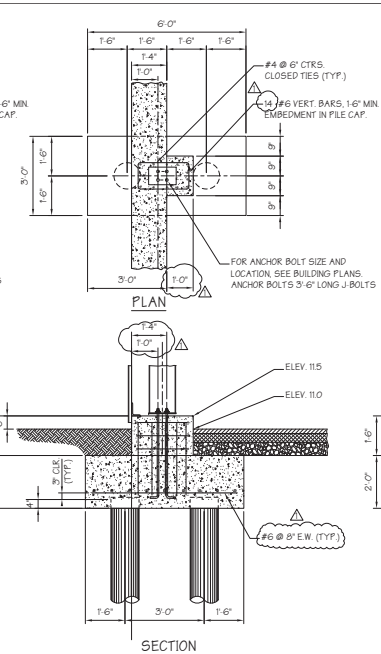
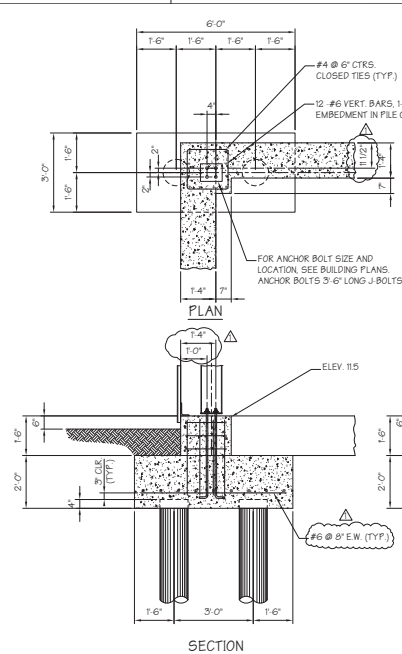
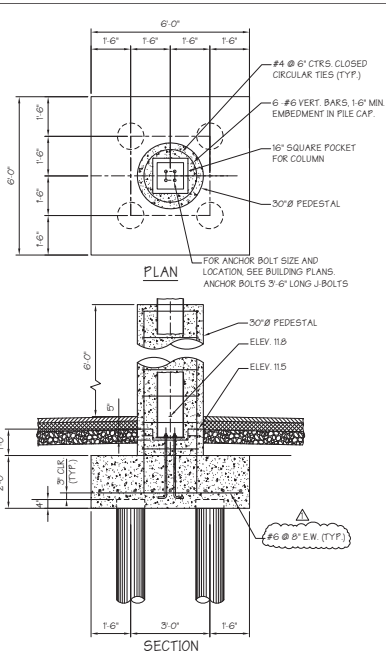
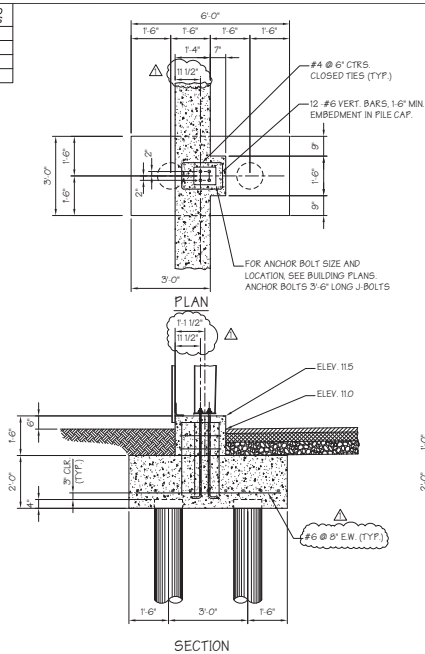
Fax No. 856-342-8323

JOHN D. LAWRENCE
901 ALMONESSON ROAD
WESTVILLE, NJ 08093

drawn	STAFF	date	3-14-2008	contract H-6347
checked		FILE	L- 1107	
drtg. approval				

BUILDING FOUNDATION	des. no.	rev.
FINISH FLOOR PLAN, SECTION AND DETAIL	S-2	1

ISSUED
PRINTS



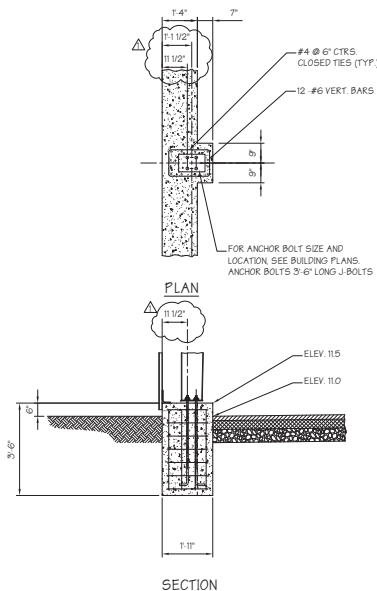
PC-1 PILE CAP DETAIL
SCALE: 1/2" = 1'-0"

PC-2 PILE CAP DETAIL
SCALE: 1/2" = 1'-0"

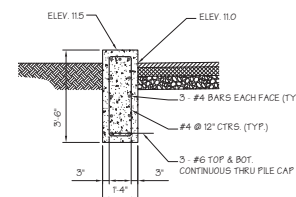
PC-3 PILE CAP DETAIL
SCALE: 1/2" = 1'-0"

PC-4 PILE CAP DETAIL
SCALE: 1/2" = 1'-0"

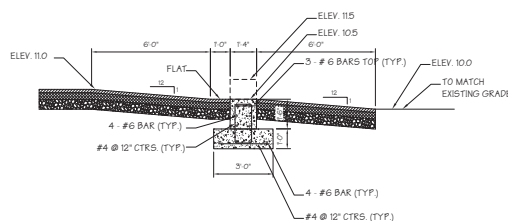
PC-5 PILE CAP DETAIL
SCALE: 1/2" = 1'-0"



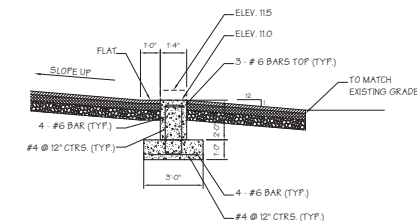
PC-6 PILE CAP DETAIL
SCALE: 1/2" = 1'-0"



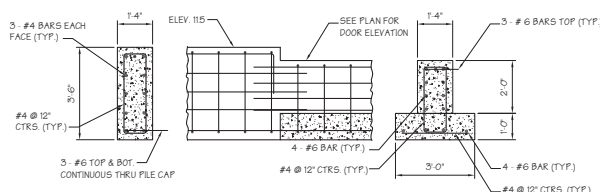
TYPICAL GRADE BEAM
SCALE: 1/2" = 1'-0"



SECTION @ 25' DOORWAY
SCALE: 3/8" = 1'-0"



SECTION @ 20'-6" AND 25' DOORWAY
SCALE: 3/8" = 1'-0"



DETAIL @ DOORWAY
SCALE: 1/2" = 1'-0"

Notes:
1. All anchor bolt locations for the building columns and location of outside of concrete grade beam, shall be verified with Star Building drawings prior to construction.

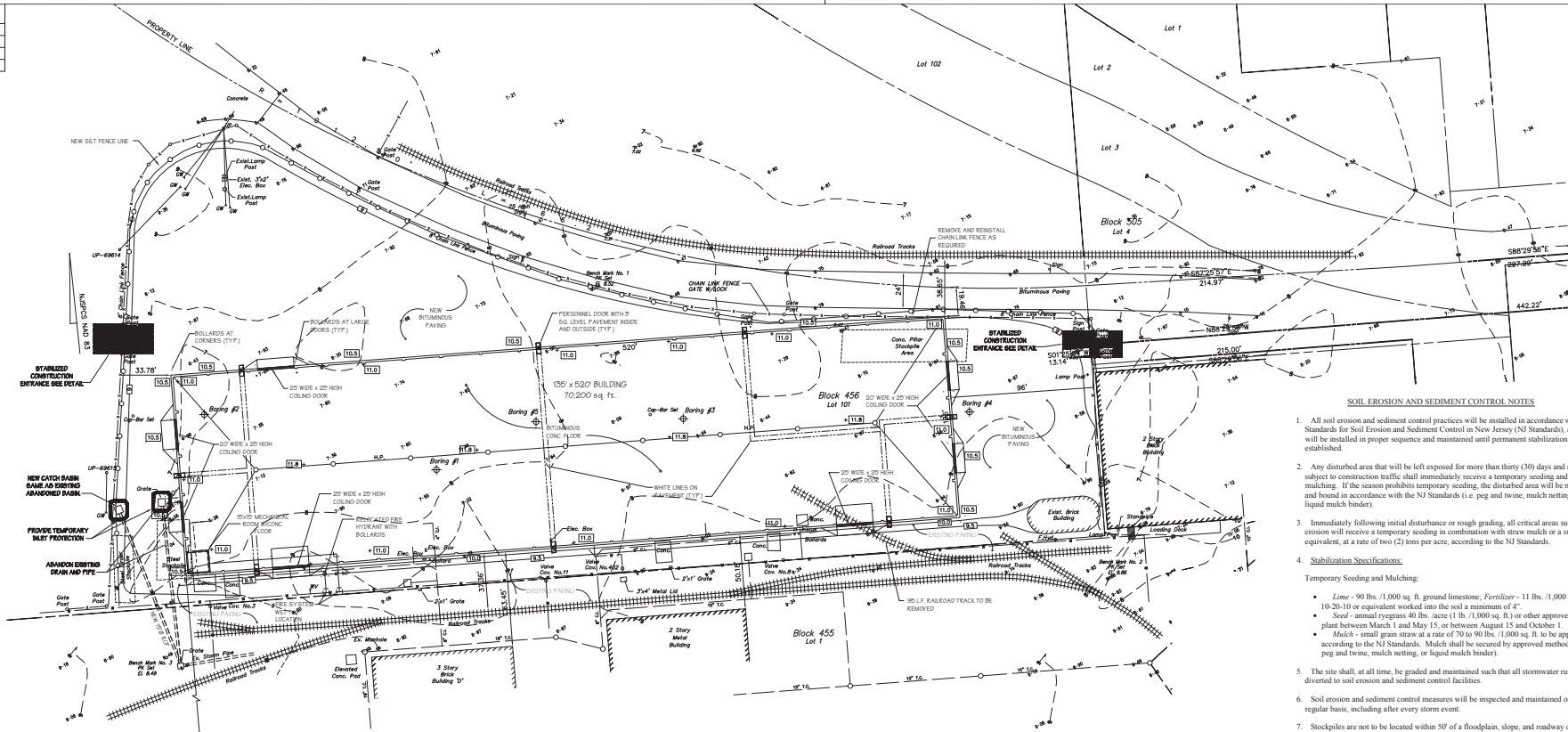
approvals			
approved by	for	date	
checked	by	date	
drawn	by	date	
revised	by	date	
description			

NEW TRANSIT BUILDING
SOUTH JERSEY PORT CORPORATION
BROADWAY TERMINAL - 2500 BROADWAY
CAMDEN, NEW JERSEY

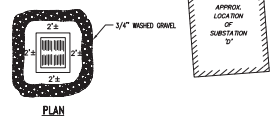
S.T. HUDSON ENGINEERS, INC.
PROFESSIONAL ENGINEERS & CONSULTANTS
840 Cooper Street
P.O. Box 9106
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Fax No. 856-342-8323 856-342-6600

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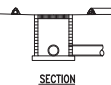
drawn: STAFF date: 3-14-2008
checked: FILE L-1107
approval: BUILDING FOUNDATION
SECTION NO. 1



OVERALL SITE PLAN
SCALE: 1" = 30'-0"



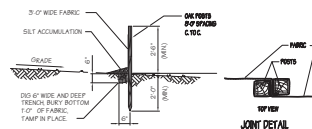
PLAN



SECTION

TEMPORARY INLET PROTECTION DETAIL

SCALE: NONE

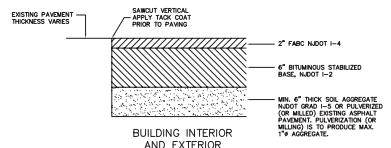


SECTION

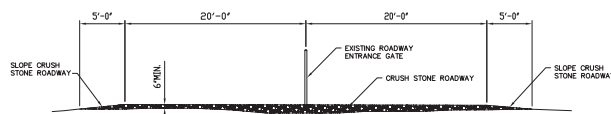
- NOTES:
- SILT FENCING MUST BE INSTALLED PARALLEL TO EXISTING CONTOURS OR TO CONSTRUCTED ELEVATION ADJUSTMENTS (SLOPE OF FENCING MUST BE EXTENDED 10 FEET, TRAVELING UP/SLOPE AT 45 DEGREES TO THE ALIGNMENT OF THE MAINTENANCE SECTION).
 - SEDIMENT MUST BE REMOVED WHERE ACCUMULATIONS REACH TO THE ABOVE GROUND HEIGHT OF SILT FENCING.
 - ANY SILT FENCING WHICH HAS BEEN UNDERSHOOT OR TOPPED MUST BE REPLACED WITH ROCK FILTER OUTLETS IMMEDIATELY.

SILT FENCE CONSTRUCTION & INSTALLATION DETAIL

SCALE: NONE



MINIMUM PAVEMENT
BITUMINOUS FLOOR SECTION AND AREA PAVING
N.T.S.



TEMPORARY STABILIZED CONSTRUCTION ACCESS DETAIL

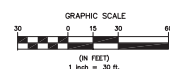
SCALE: NONE

CONSTRUCTION SEQUENCE

- INSTALL SECURITY FENCE ON SOUTH SITE BOUNDARY.
- CLEAN UP EXISTING SITE TO REMOVE MISCELLANEOUS DEBRIS.
- PLACE SILT FENCE ON NORTH AND WEST SITE BOUNDARIES.
- PLACE HAY BALS AT ONE (1) EXISTING DRAIN ON WEST SIDE OF PROPERTY.
- PROVIDE 2" NOMINAL CRUSHED STONE ENTRANCE AT EXISTING EAST AND WEST CONSTRUCTION ENTRANCE GATES.
- PROVIDE PRELIMINARY SITE GRADING IN BUILDING.
- DRIVE PILES AND CONSTRUCT PILE CAPS AND GRADE BEAMS.
- PLACE AND COMPACT SOILS TO REQUIRED GRADES.
- ERECT BUILDING.
- RELOCATE THE WEST STORM DRAIN AND INSTALL UNDERGROUND FIRE PROTECTION PIPING AND ELECTRICAL.
- PAVE THE BUILDING FLOOR AND THE AREAS AROUND THE BUILDING.
- REMOVE THE SILT FENCE AND STONE SURFACES AT ENTRANCE GATES.
- REMOVE SECURITY FENCE.

LEGEND:

- NEW SILT FENCE LINE
- NEW CONTOUR LINE
- PROPERTY LINE
- EXISTING SPOT ELEVATION
- EXISTING CONTOUR LINE
- EXISTING FENCE
- EXISTING RAILROAD TRACKS
- LOCATION OF PRELIMINARY SOIL BORING



DATE	BY	DESCRIPTION
11/14/07	JL	PROJECT DATA
11/14/07	JL	11/14/07
11/14/07	JL	11/14/07
11/14/07	JL	11/14/07
11/14/07	JL	11/14/07
11/14/07	JL	11/14/07
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11/14/07	JL	11/14/07
11/14/07	JL	11/14/07
11/14/07	JL	11/14/07

SOIL EROSION AND SEDIMENT CONTROL NOTES

- All soil erosion and sediment control practices will be installed in accordance with the Standards for Soil Erosion and Sediment Control in New Jersey (NJ Standards), and will be installed in proper sequence and maintained until permanent stabilization is established.
- Any disturbed area that will be left exposed for more than thirty (30) days and not subject to construction traffic shall immediately receive a temporary seeding and mulching. If the season prohibits temporary seeding, the disturbed area will be mulched and bound in accordance with the NJ Standards (i.e. peg and twine, mulch netting, or liquid mulch binder).
- Immediately following initial disturbance or rough grading, all critical areas subject to erosion will receive a temporary seeding in combination with straw mulch or a suitable equivalent, at a rate of two (2) tons per acre, according to the NJ Standards.
- Stabilization Specifications:**

Temporary Seeding and Mulching:

- Line** - 90 lbs./1,000 sq. ft. ground limestone; Fertilizer - 11 lbs./1,000 sq. ft., 10-20-10 or equivalent worked into the soil a minimum of 4".
- Seed** - annual ryegrass 40 lbs./acre (1 lb./1,000 sq. ft.) or other approved seeds, plant between March 1 and May 15, or between August 15 and October 1.
- Mulch** - small grain straw at a rate of 70 to 90 lbs./1,000 sq. ft. to be applied according to the NJ Standards. Mulch shall be secured by approved methods (i.e. peg and twine, mulch netting, or liquid mulch binder).

- The site shall, at all time, be graded and maintained such that all stormwater run-off is diverted to soil erosion and sediment control facilities.
- Soil erosion and sediment control measures will be inspected and maintained on a regular basis, including after every storm event.
- Stockpiles are not to be located within 50' of a floodplain, slope, or roadway or drainage facility. The base of all stockpiles shall be contained by a hay bale sediment barrier or silt fence.
- A crushed stone, vehicle wheel-cleaning blanket will be installed wherever a construction access road intersects any gravel roadway. Said blanket will be composed of 1" - 2 1/2" crushed stone, 6" thick, will be at least 20' x 50' and should be underlain with a suitable synthetic sediment filter fabric and maintained.
- Maximum side slopes of all exposed surfaces shall not exceed 3:1 unless otherwise approved by the District.
- All soil washed, dropped, spilled or tracked outside the limit of disturbance or onto public right-of-ways, will be removed immediately. Paved roadways must be kept clean at all times.
- Catch basin inlets will be protected with an inlet filter designed in accordance with Section 30-1 of the NJ Standards.
- De-watering operations must discharge directly into a sediment control bag or other approved filter in accordance with Section 14-1 of the NJ Standards.
- Dust shall be controlled via the application of water, calcium chloride or other approved method in accordance with Section 16-1 of the NJ Standards.
- The project owner shall be responsible for any erosion or sedimentation that may occur below stormwater outfalls or off-site as a result of construction of the project.
- Any revision to the certified Soil Erosion and Sediment Control Plan must be submitted to the District for review and approval prior to implementation in the field.
- A copy of the certified Soil Erosion and Sediment Control Plan must be available at the project site throughout construction.
- The Camden County Soil Conservation District must be notified, in writing, at least seventy-two (72) hours prior to any land disturbance.
- The Camden County Soil Conservation District may request additional measures to minimize on or off-site erosion problems during construction.

NEW TRANSIT SHED BUILDING
SOUTH JERSEY PORT CORPORATION
BROADWAY TERMINAL - 2500 BROADWAY
CAMDEN, NEW JERSEY

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drawn: STAFF date: 3-14-2008
checked: FILE L-1107
drftg. approval
BUILDING FOUNDATION
EROSION AND SEDIMENT CONTROL PLAN
SE-10