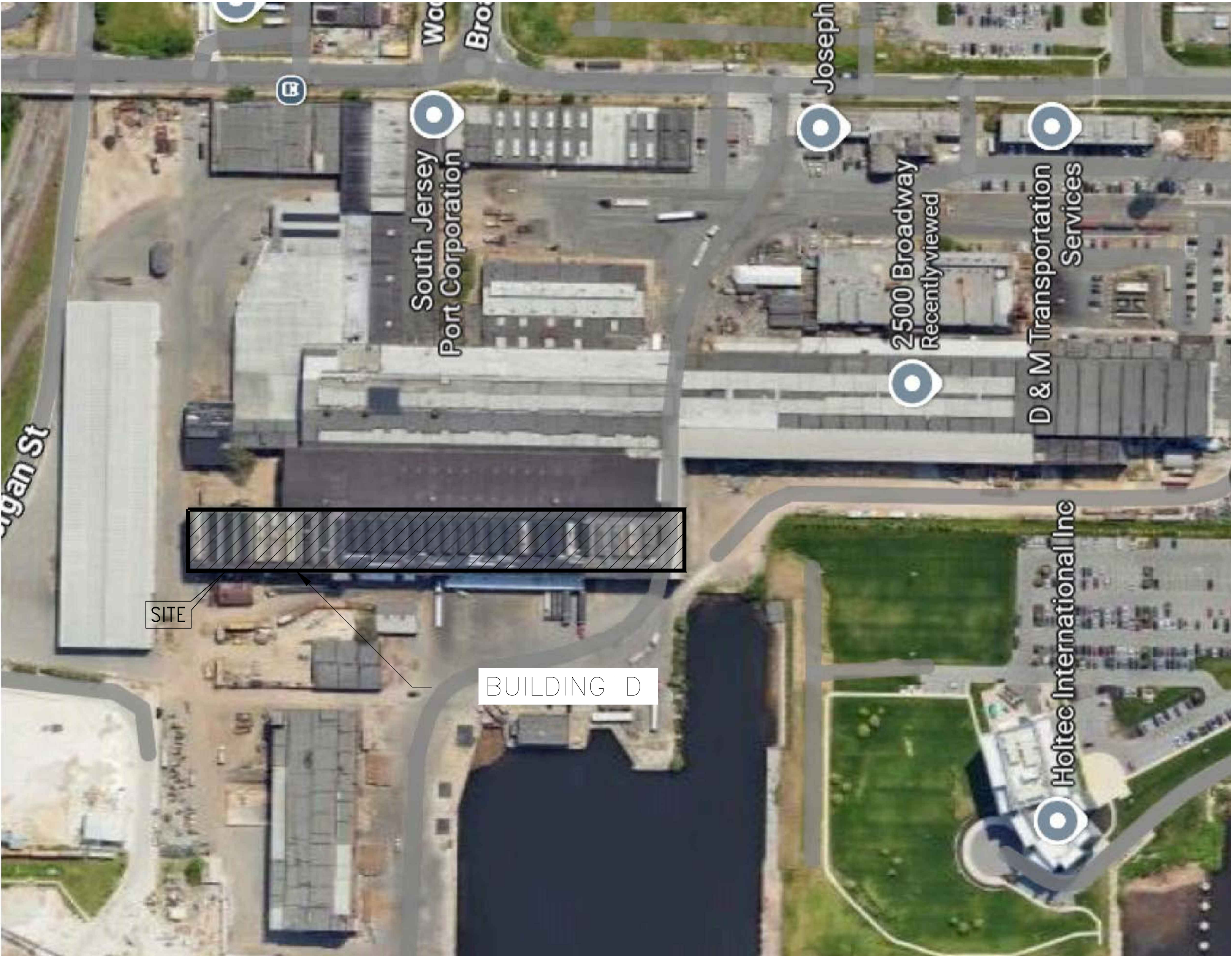


M:\DATA\PROJECTS\SOUTH JERSEY PORT CORPORATION\SJPC-7208 BUILDING D ROOF REPLACEMENT\DWGS\WORKING SET\GENERAL - COVER\SJPC-BLDG-D-G-000

BUILDING D ROOF REPLACEMENT &
INTERIOR STAIR
BROADWAY TERMINAL
CAMDEN COUNTY

2500 BROADWAY
CAMDEN, NEW JERSEY 08103
CONSTRUCTION PLANS



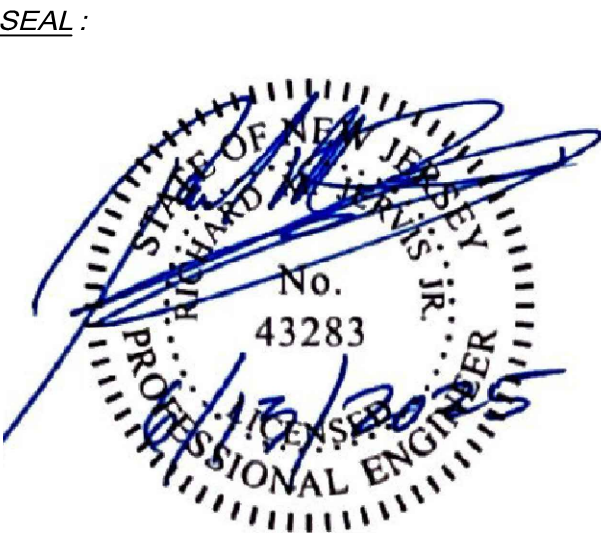
LOCATION MAP
SCALE: N.T.S.

SHEET INDEX

SJPC-BLD-D-G-000	COVER SHEET
SJPC-BLD-D-G-001	GENERAL NOTES
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SJPC-BLD-D-A-002	BUILDING D - DEMOLISH EXISTING ROOF PHOTOS
SJPC-BLD-D-A-003	NEW ROOF LAYOUT
SJPC-BLD-D-A-004	ROOF DETAILS
SJPC-BLD-D-S-001	NEW ROOF LAYOUT
SJPC-BLD-D-S-002	EXISTING ROOF TRUSS + DETAILS
SJPC-BLD-D-S-003	ROOFING SECTIONS & DETAILS
SJPC-BLD-D-S-004	INTERIOR STAIRS LAYOUT PLAN
SJPC-BLD-D-S-005	INTERIOR STAIRS DETAILS

LIST OF UTILITIES

WATER & SEWER	CAMDEN WATER, LLC. 1257 S. SECOND ST. CAMDEN, NJ 08104
WATER	NEW JERSEY AMERICAN WATER CO. 213 CARRIAGE LANE DELRAN, NJ 08075
GAS	PSE&G GAS DISTRIBUTION DIVISION 300 CONNECTICUT DRIVE BURLINGTON, NJ 08086
ELECTRIC	PSE&G ELECTRIC DISTRIBUTION DIVISION 300 NEW ALBANY ROAD MOORESTOWN, NJ 08057



RICHARD M. JERVIS JR., P.E. DATE:
NEW JERSEY PROFESSIONAL ENGINEER
LIC. NO. 43283

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PROJECT:
D BUILDING ROOF REPLACEMENT
& INTERIOR STAIR
BROADWAY MARINE TERMINAL
2500 BROADWAY
CAMDEN, NJ
CAMDEN COUNTY

MAP:	0408_455_1	LOT:	455-1
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PLOT DATE:	3/03/2025	PROJECT NO:	SJPC-7208
DRAWN BY:	RHH	REVIEWED BY:	APB

DRAWING TITLE:
COVER SHEET

DRAWING NO.:
SJPC-BLDG-D-G-000

SHEET NO.:
1 OF 11

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GENERAL NOTES – ROOF D RECONSTRUCTION

1. CODE
- 1.1. ALL CONSTRUCTION SHALL CONFORM TO THE PROVISIONS OF THE LATEST EDITION OF NEW JERSEY BUILDING CODE, AND LOCAL AMENDMENTS.
2. DESIGN CRITERIA AND INFORMATION
- 2.1. THE MINIMUM DESIGN LOADINGS FOR ALL NEW WORK IS AS FOLLOWS:
- 2.1.1. DL = 10 PSF
- SNOW LOAD = 30 PSF
- WIND UPLIFT = 35 PSF

DEMOLITION AND REMOVAL NOTES:

1. CONTRACTOR SHALL LOCATE AND VERIFY ALL UTILITIES, PIPING, CONDUIT AND HINDRANCES PRIOR TO D&R.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE PROMPTLY AND IN A LEGAL MANNER.
3. SOUTH JERSEY PORT CORPORATION SHALL DICTATE METHOD OF DISPOSAL OF MATERIAL TO BE REMOVED.
4. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING CONSTRUCTION THAT SHALL REMAIN.
5. CONTRACTOR SHALL NOT INTERRUPT ANY EXISTING UTILITY SERVICE UNLESS APPROVED BY THE SOUTH JERSEY PORT CORPORATION.
6. DEMOLITION IS TO OCCUR IN PHASES DETERMINED BY THE CONTRACTOR AND SOUTH JERSEY PORT AND SHALL MINIMIZE DOWN TIME FOR OPERATIONS.
- 6.1. CONTRACTOR TO DETERMINE METHOD OF SEALING OPENINGS CREATED BY D&R. METHOD SHALL BE APPROVED BY SOUTH JERSEY PORT.

SEQUENCE OF CONSTRUCTION:

CONTRACTOR TO SUBMIT A WORK PLAN FOR REVIEW USING THIS SUGGESTED SEQUENCE AS A GUIDE.

1. REMOVE THE BOARD COVERING THE ROOF PLANK ENDS AT EACH END OF EACH DOGHOUSE – SEE PHOTO ON A–002.
2. INSTALL ANY ADDITIONAL NEW ROOF PLANK SUPPORTS – SEE DETAILS ON S–003.
3. INSTALL NEW ROOF PLANKING IN THE DOGHOUSE OPENINGS. PROVIDE ACCESS AS NEEDED.
4. ITEMS 4A THROUGH 4F ARE PERFORMED ONE BAY AT A TIME STARTING WITH COLUMN LINES 0 TO 2. TARP THE AREA AT THE END OF EACH WORK DAY TO MINIMIZE RAIN WATER INFILTRATION.
- 4.1. REMOVE THE DOGHOUSE AT ONE END OF ROOF. PROTECT THE AREA BELOW FROM FALLING DEBRIS.
- 4.2. REMOVE THE BITUMINOUS ROOFING AND UNDERLAYMENT.
- 4.3. REMOVE ALL ROOF PLANKING IN THE AREA AND REPLACE WITH NEW MATERIAL.
- 4.4. FILL IN GAPS ALONG THE OLD DOGHOUSE OPENINGS.
- 4.5. INSTALL DENSDECK OVER THE ROOF PLANKS.
- 4.6. INSTALL EPDM ROOF COVERING. SEAL TO EXISTING ROOFING ALONG THE LINE "F" RIDGE.
5. TO 33.REPEAT STEPS 4.1. TO 4.6. FOR EACH BAY. EACH SECTION IS ~2100+SF.
34. REMOVE LADDER AND PLATFORM ALONG EAST EDGE OF ROOF, GUTTERS AND DOWNSPOUTS. ONLY REMOVE LADDER/PLATFORM ATTACHED TO ROOF. STAIRS AND LADDERS ATTACHED TO WALL TO REMAIN.
35. REPLACE GUTTERS AND DOWNSPOUTS. COMPLETE ROOFING ALONG GUTTER EDGE.
36. REPLACE JUST THE SOUTHERN ROOF LADDER AND PLATFORM IN KIND ALONG EAST SIDE OF ROOF.

SJPC



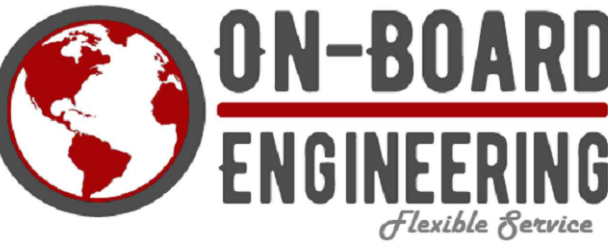
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CAMDEN COUNTY

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GENERAL NOTES

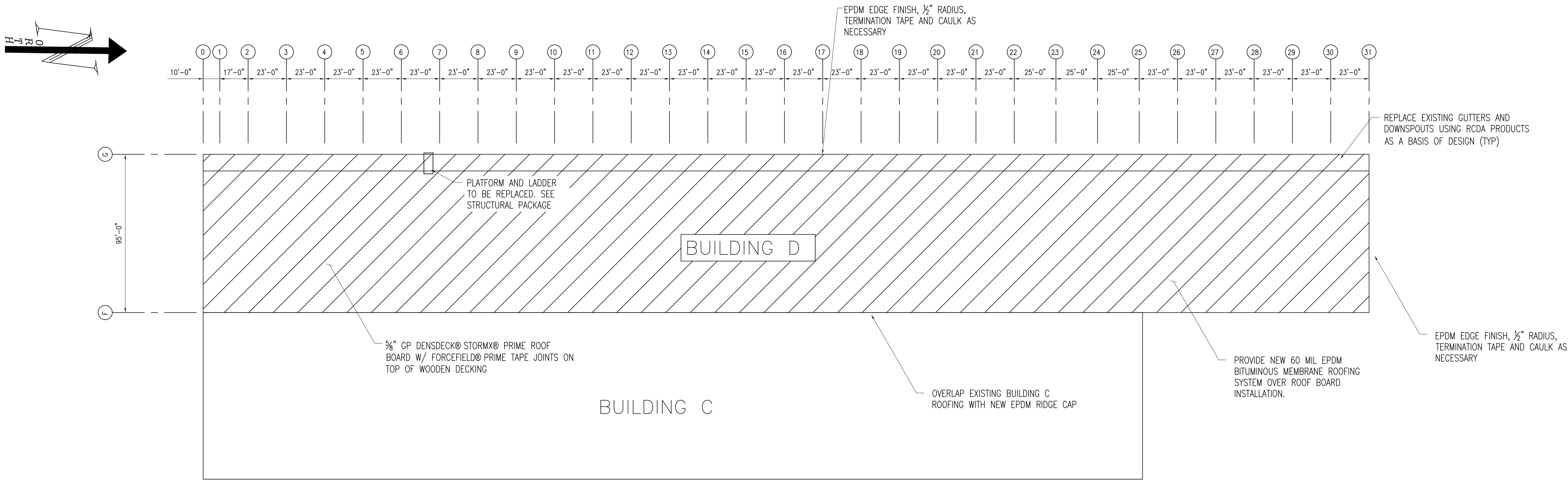
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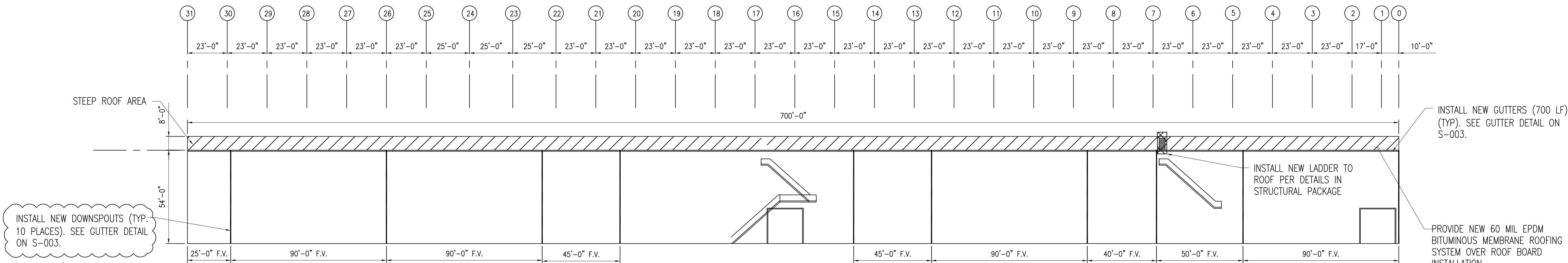
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BUILDING D — NEW ROOF PLAN
SCALE: 1/32" = 1'-0"
TOTAL ROOF AREA = 66,500 FT²



BUILDING D — ELEVATION
SCALE: 1/32" = 1'-0"

NOTES:

- CONTRACTOR TO SURVEY ENTIRE ROOFING STRUCTURE PRIOR TO NEW ROOF INSTALLATION TO CONFIRM THAT ALL REPAIRS HAVE BEEN COMPLETED.
- CONTRACTOR TO DETERMINE PHASING OF ROOF INSTALLATION TO BE APPROVED BY SOUTH JERSEY PORT.
- AFTER WOOD PLANKING/DECKING HAS BEEN REMOVED, CONTRACTOR TO VERIFY THAT REPLACEMENT DECKING SHALL MATCH THE EXISTING.
- ROOFING SHALL BE 60 MIL EPDM MEMBRANE, WHITE IN COLOR. ROOF BOARD SHALL BE DENSDECK 5/8" THICK GYPSUM BOARD.
- ALL JOINTS SHALL BE SEALED WITHIN THE ROOFING MEMBRANE ACCORDING TO MANUFACTURER'S INSTALLATION SPECIFICATIONS.
- ROOFING MATERIAL SHALL BE FULLY ADHERED TO ROOF DECKING SYSTEM. ROOFING MATERIAL AT EDGE OF BUILDING SHALL BE FASTENED USING PLATES AND SCREWS.
- NEW DOWNSPOUT TO USE EXISTING PVC GROUND OUTLET FOR DRAINAGE

LEGEND:

AREA OF ROOF TO BE REPLACED (66,500 SF)



SEAL:



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BUILDING D
NEW ROOF PLAN

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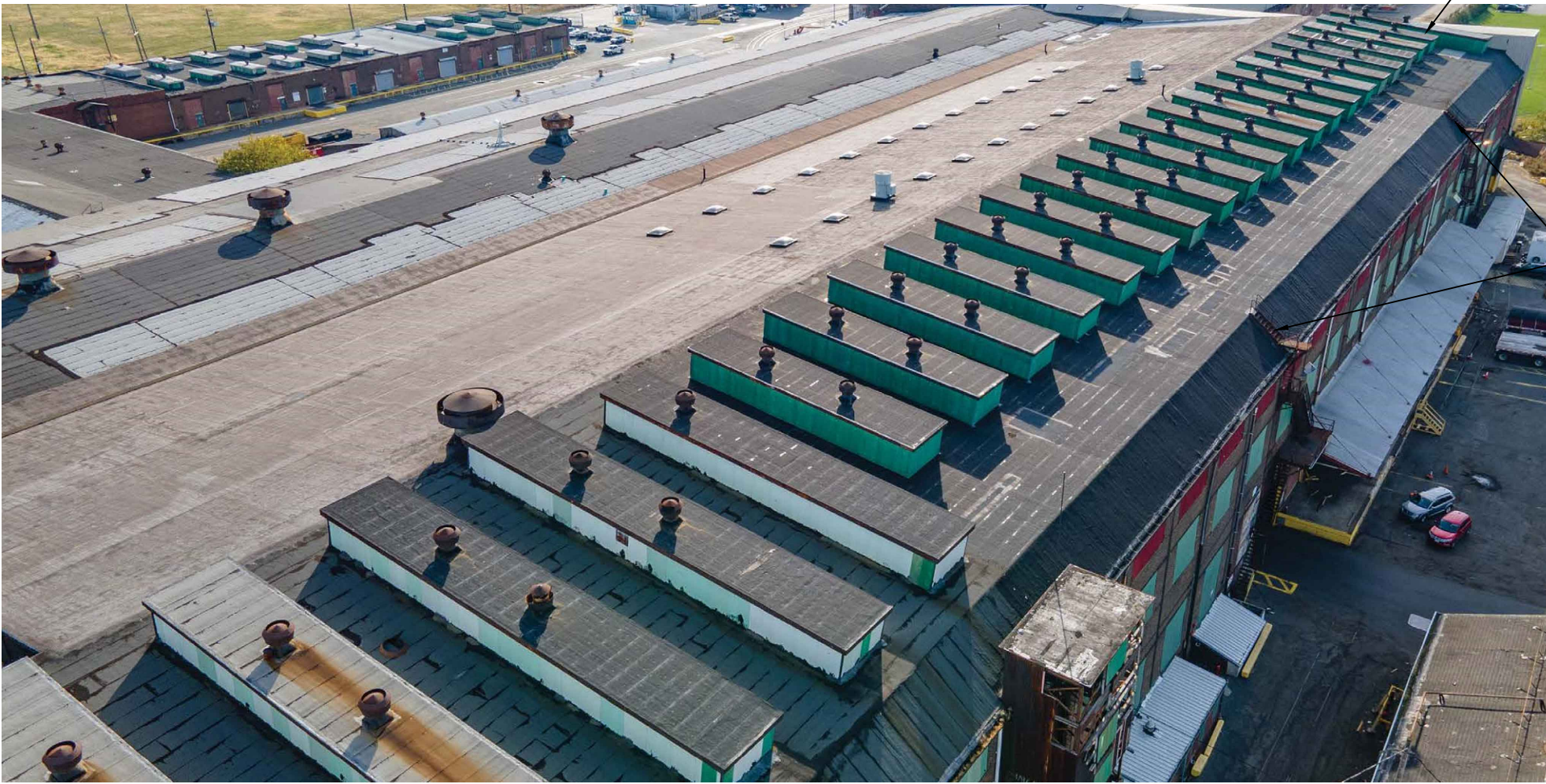
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EXISTING ROOFING



EXISTING DOGHOUSES



ENLARGED EXISTING DOGHOUSES

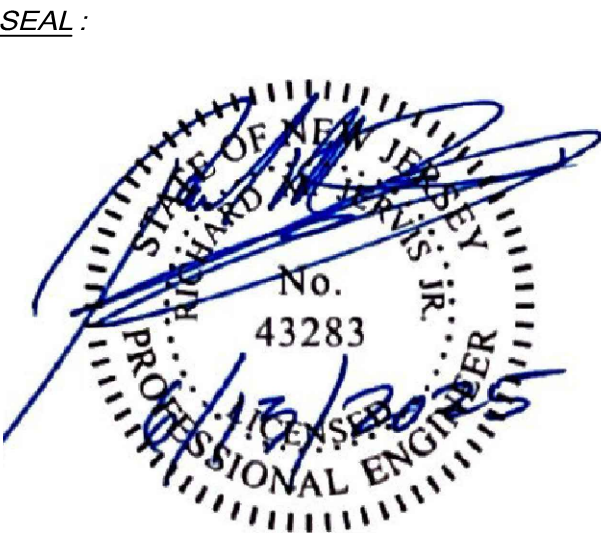


EXISTING DOGHOUSE
& CROSS BRACING



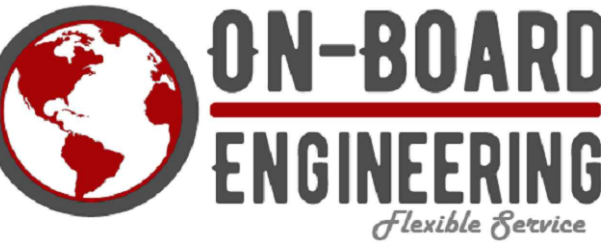
DOGHOUSES END

PARTIALLY REMOVE BOARD TO INSTALL
NEW END SUPPORT, SEE SECTION A-A
S-003



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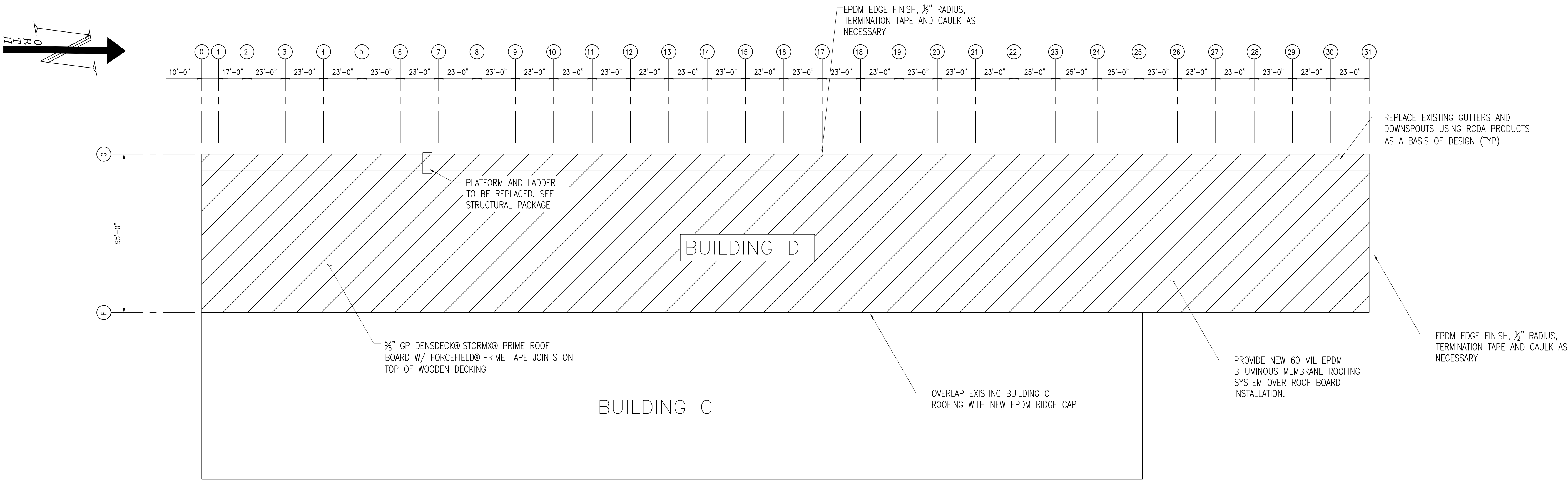
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DRAWING TITLE:
BUILDING D - DEMOLITION
EXISTING ROOF PHOTOS

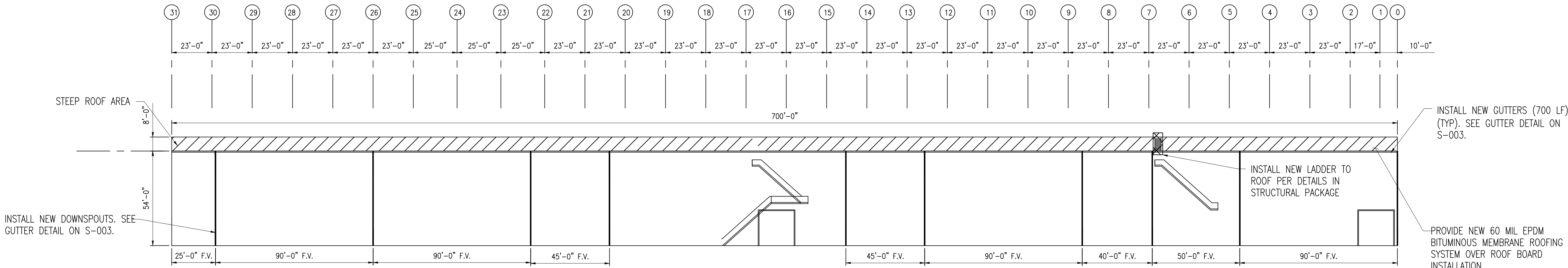
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BUILDING D — NEW ROOF PLAN
SCALE: 1/32" = 1'-0"
TOTAL ROOF AREA = 66,500 FT²

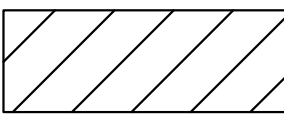


BUILDING D — ELEVATION
SCALE: 1/32" = 1'-0"

NOTES:

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- NEW DOWNSPOUT TO USE EXISTING PVC GROUND OUTLET FOR DRAINAGE

LEGEND:

 AREA OF ROOF TO BE REPLACED (66,500 SF)

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**BUILDING D
NEW ROOF PLAN**

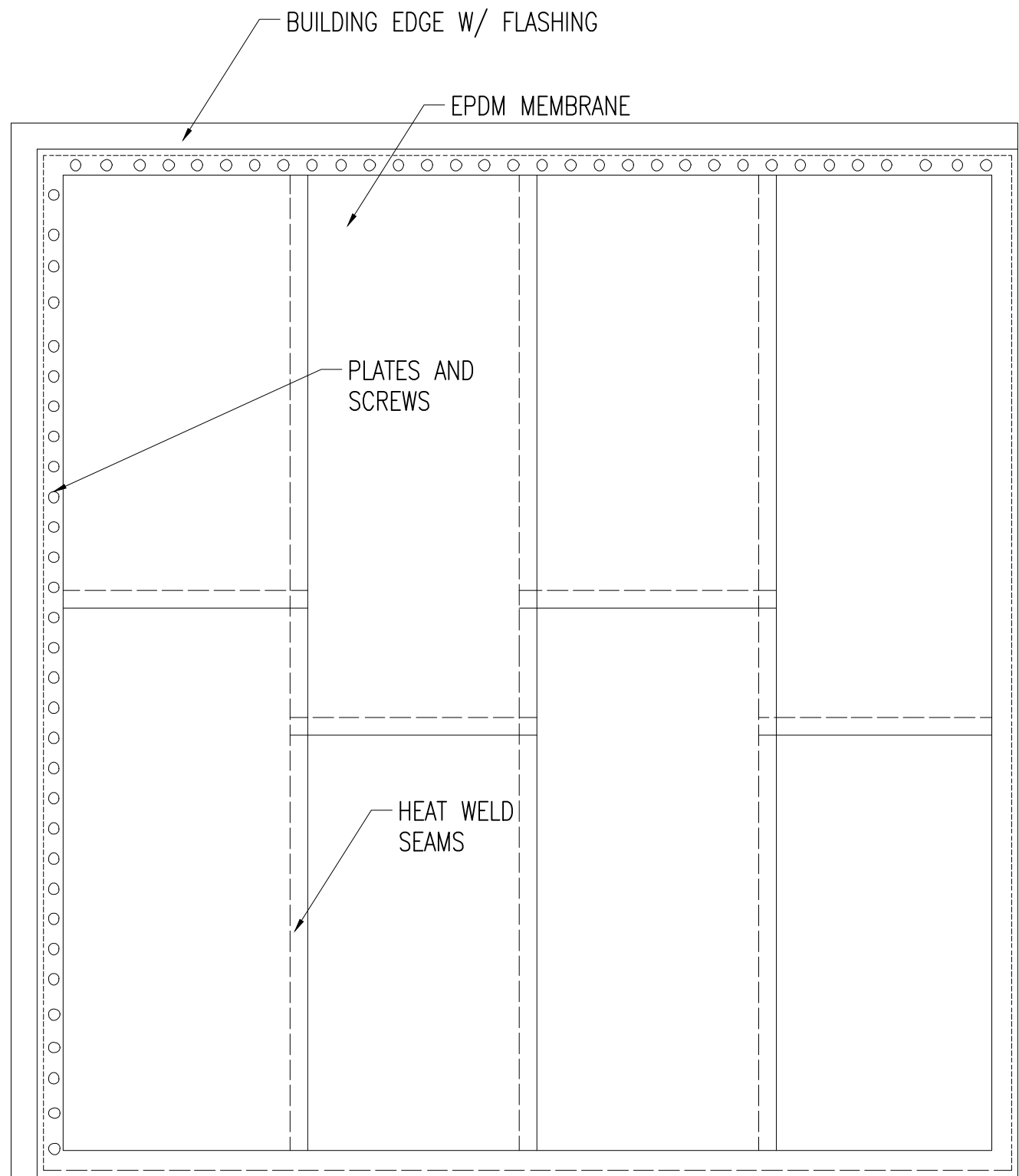
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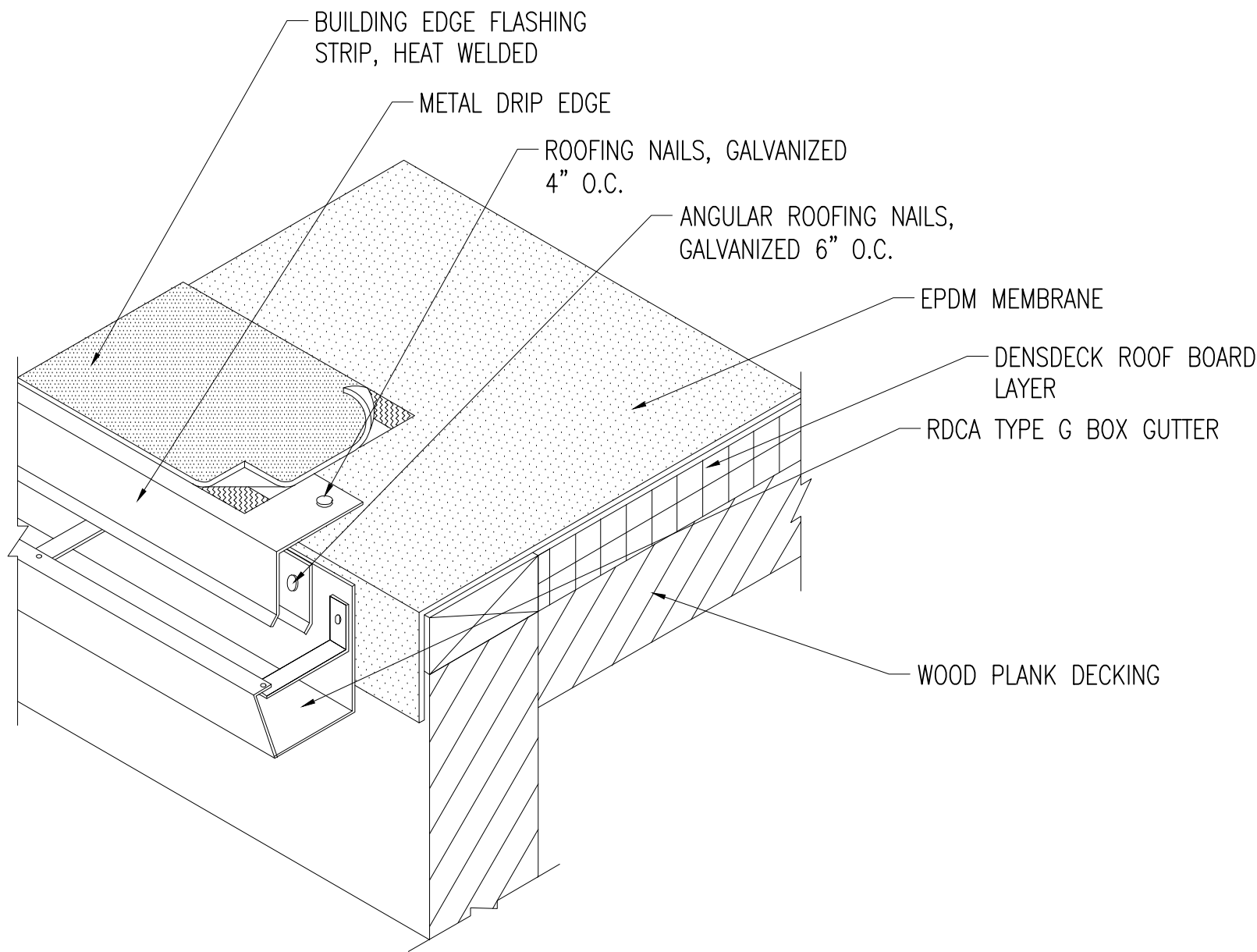
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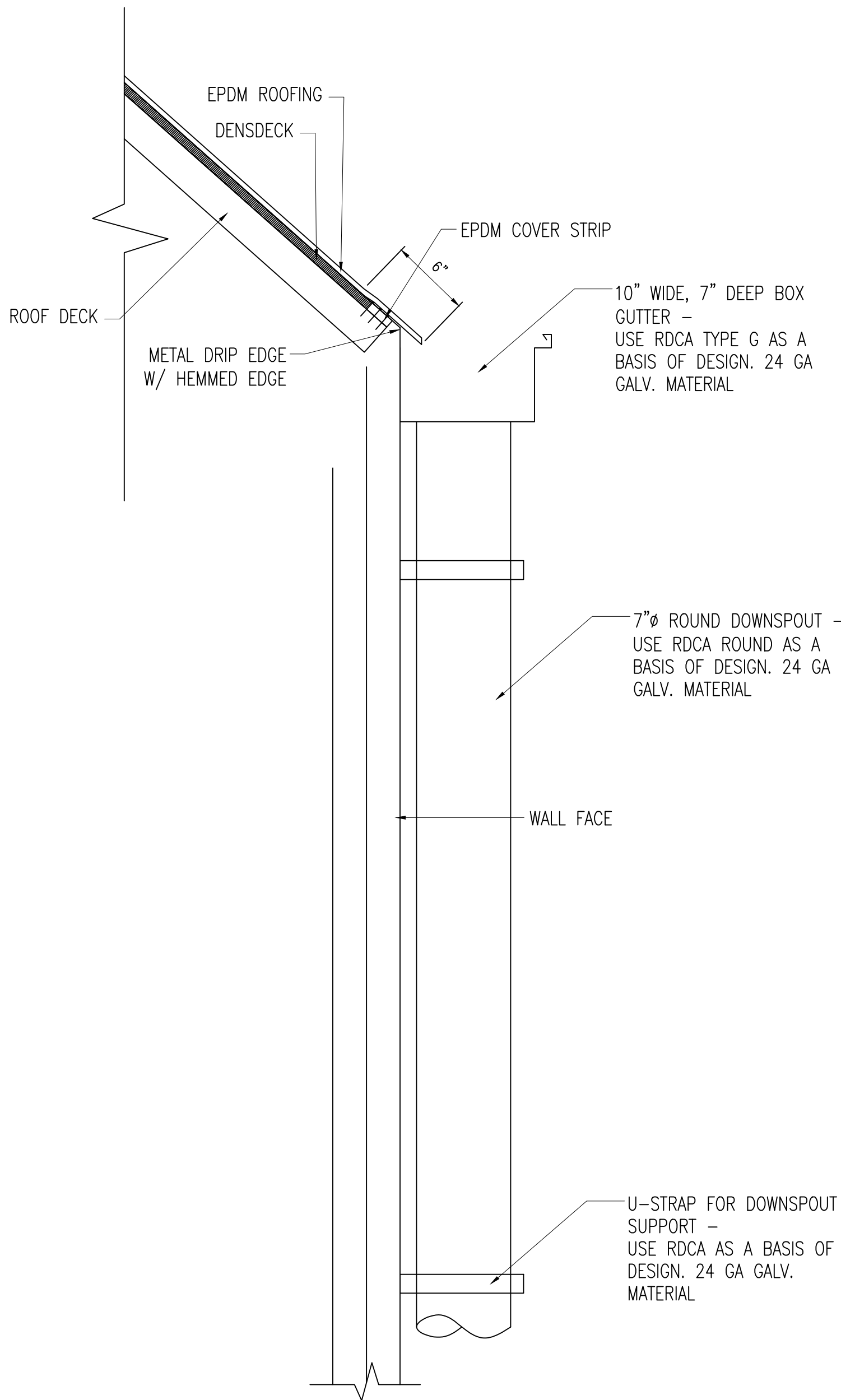
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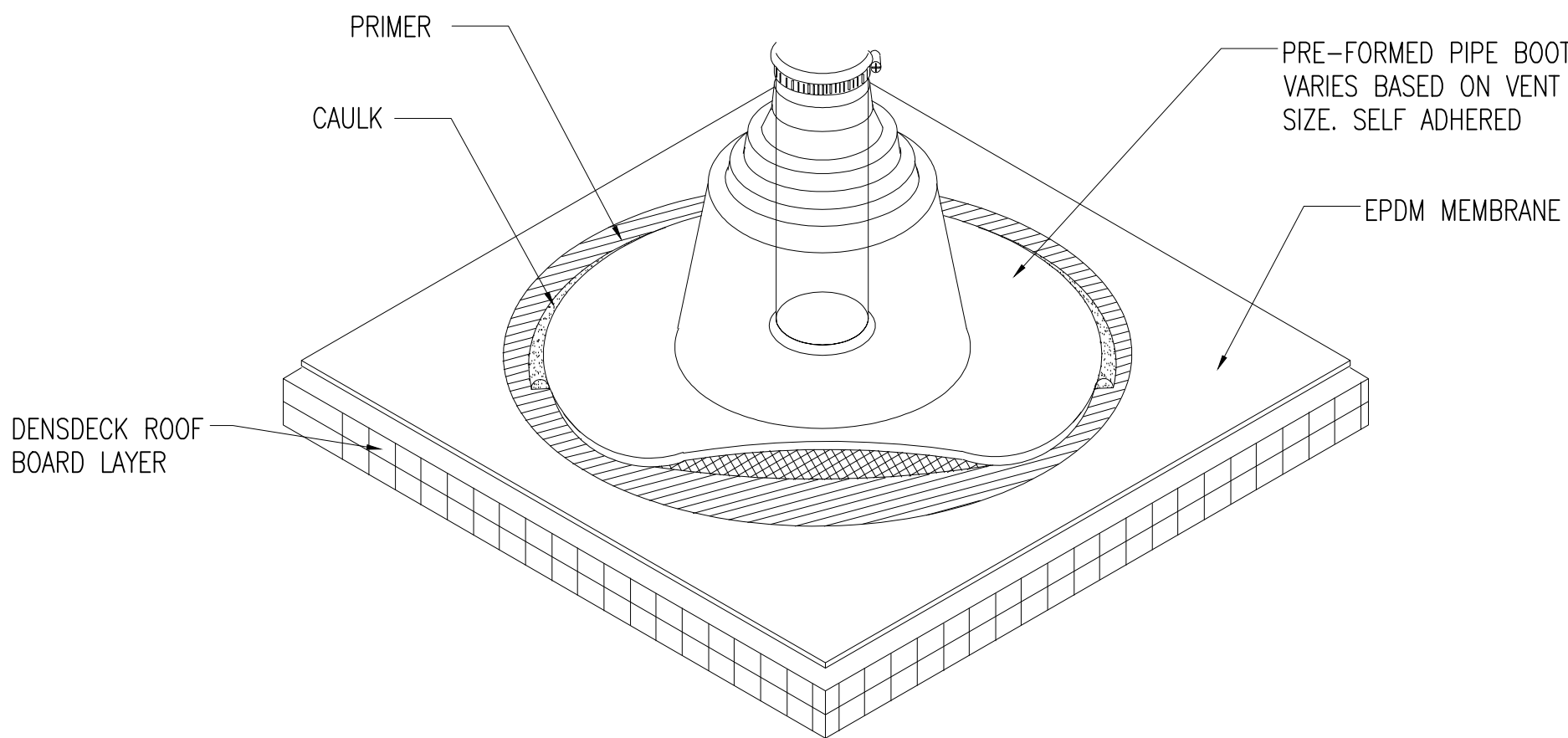
TYPICAL ROOF MEMBRANE
SCALE: N.T.S.



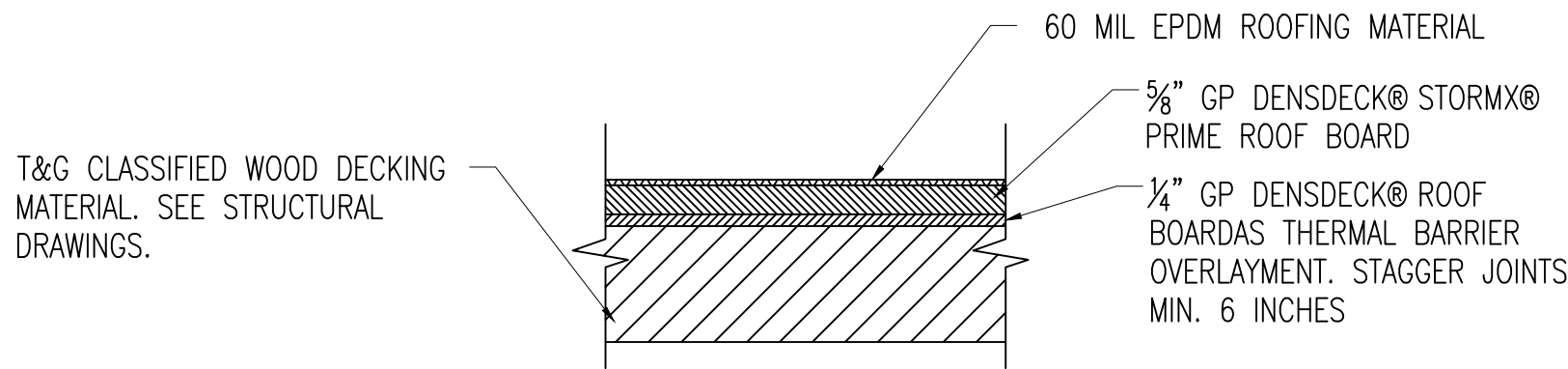
ROOF SECTION @ GUTTER EDGE
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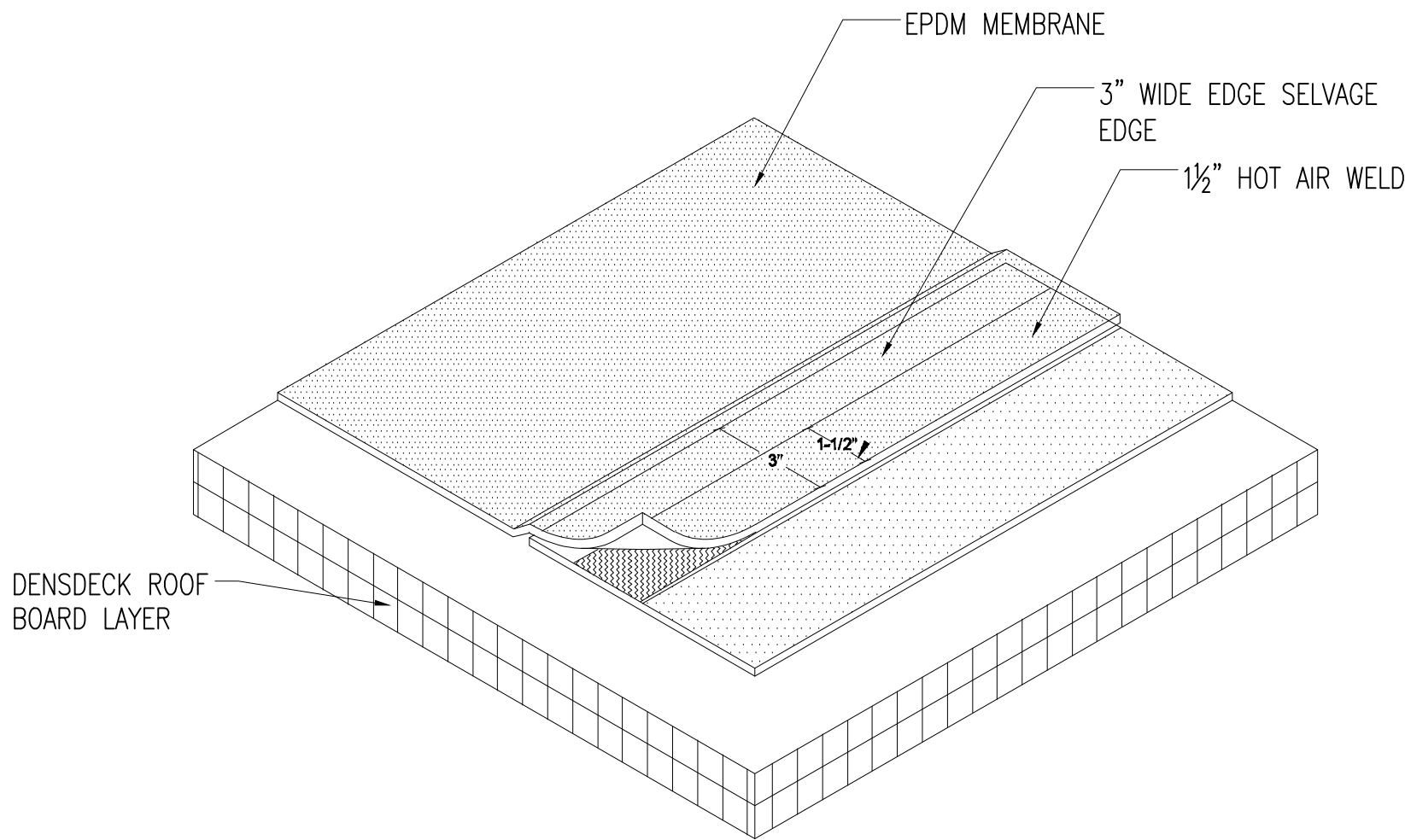
GUTTER DETAIL
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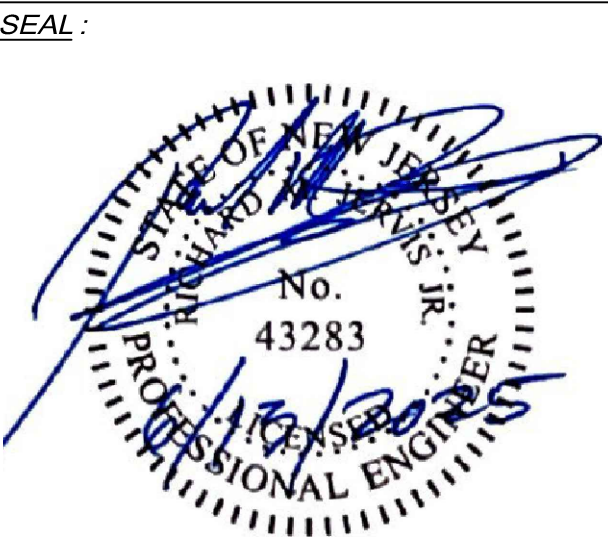
ROOF SECTION @ VENT PIPE
SCALE: N.T.S.



TYPICAL ROOF SECTION
SCALE: 3" = 1'-0"



ROOF SECTION - TYP SEAM
SCALE: N.T.S.



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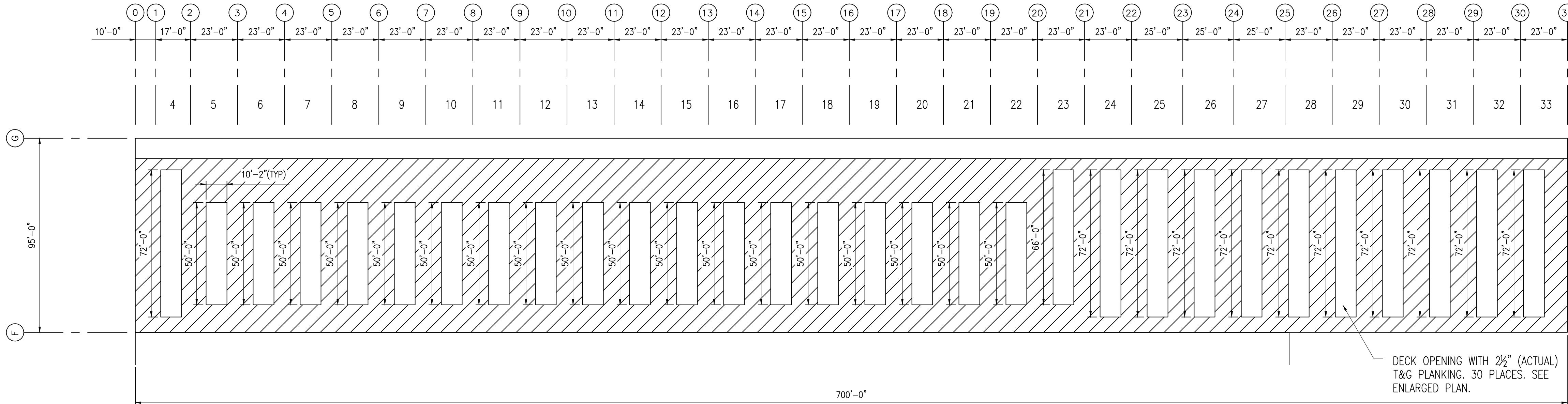
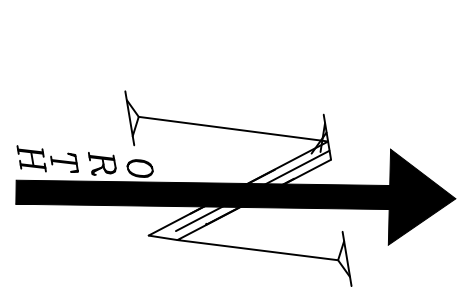
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DRAWING TITLE:
BUILDING D
ROOF DEATILS

DRAWING NO.:
SJPC-BLDG-D-A-004

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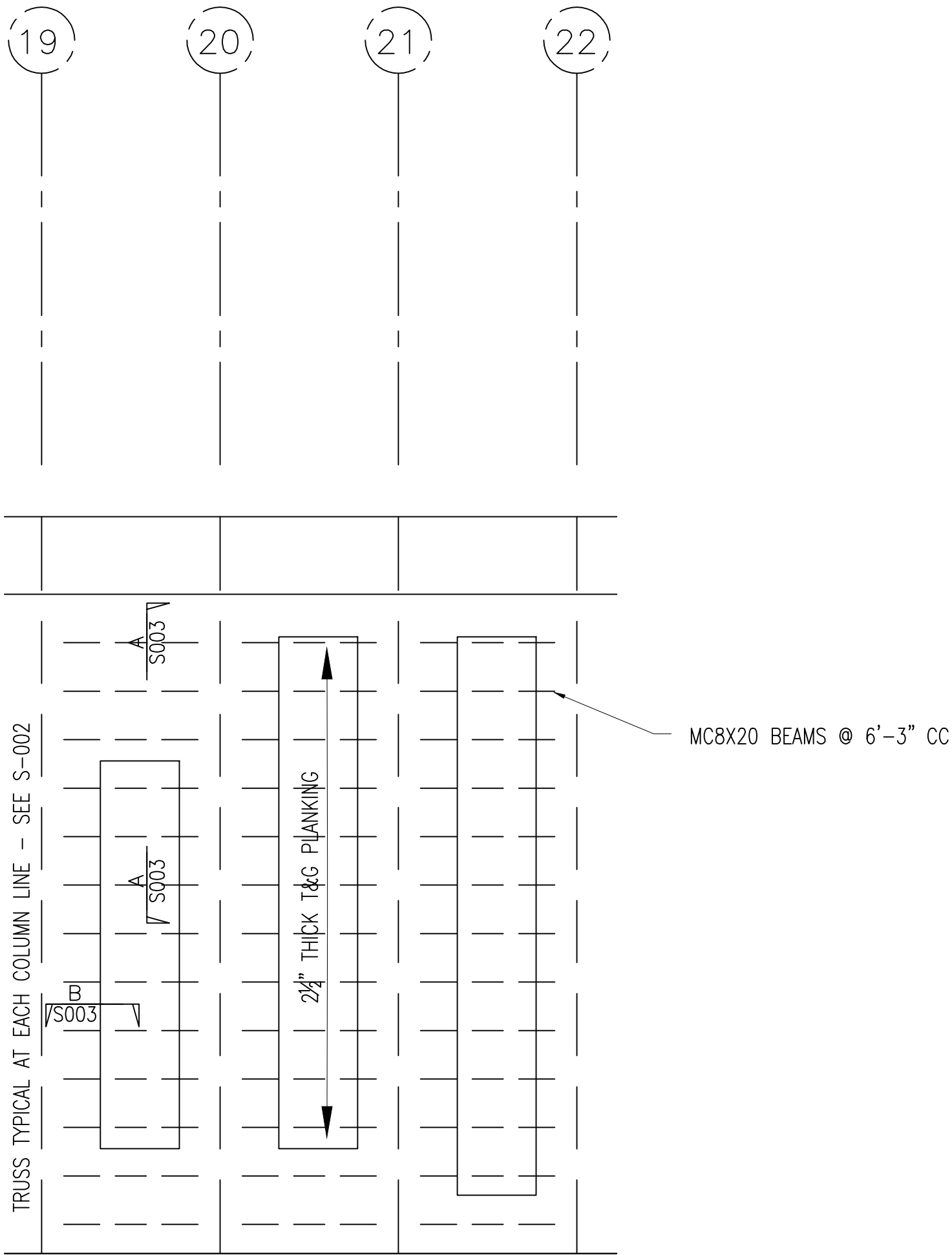
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NEW ROOF LAYOUT

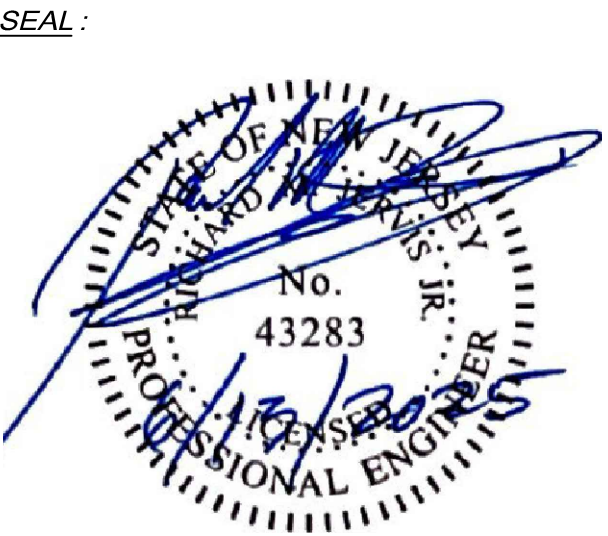
SCALE: 1/32" = 1'-0"

TOTAL ROOF AREA = 66,500 FT²
DOGHOUSE AREA = 17,873 FT²



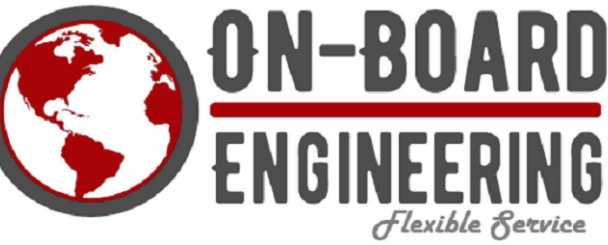
NEW DECKING

SCALE: 1/16" = 1'-0"



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MAP:	0408_455_1	LOT:	455-1
SCALE:	AS SHOWN	TASK:	
PLOT DATE:	3/03/2025	PROJECT NO:	SJPC-7208
DRAWN BY:	RHH	REVIEWED BY:	APB

DRAWING TITLE:

NEW ROOF LAYOUT

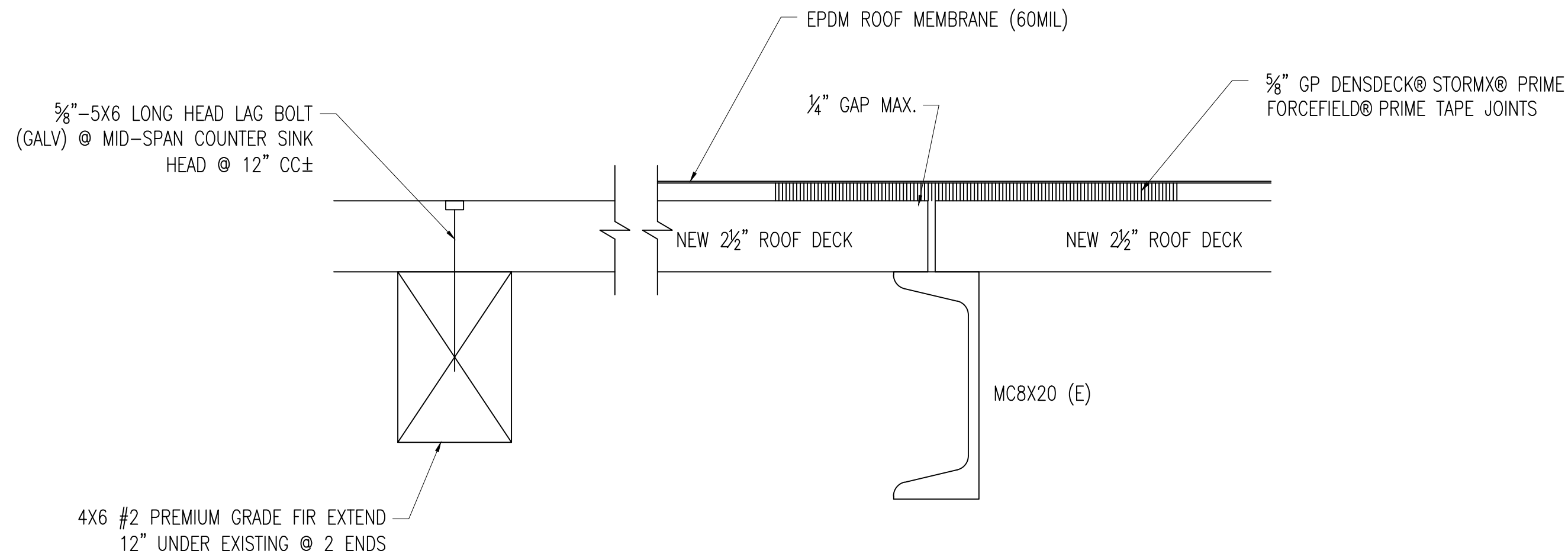
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SJPC-BLDG-D-S-001

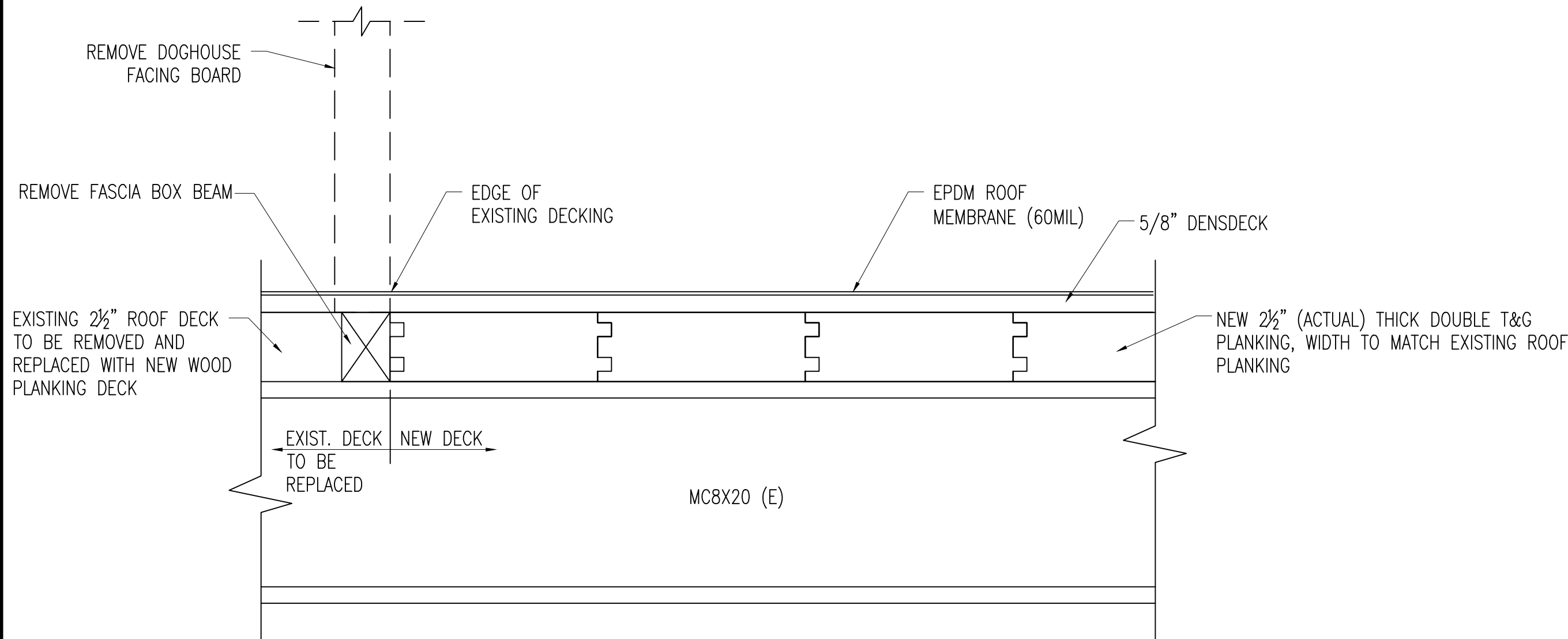
SHEET NO.:

7 OF 11

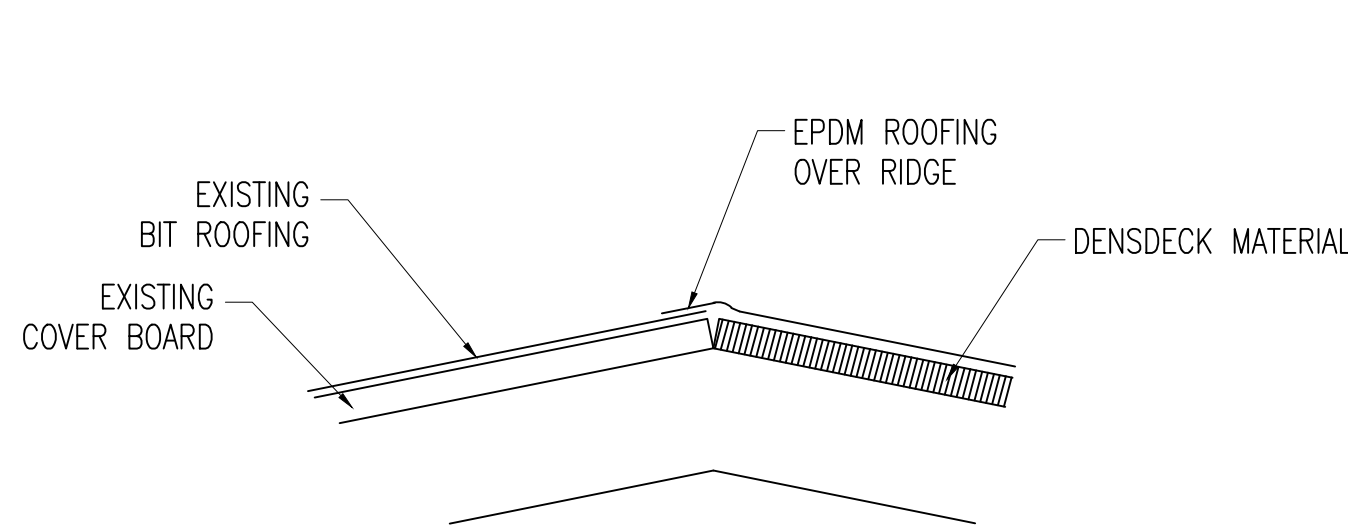
M:\DATA\PROJECTS\SOUTH JERSEY PORT CORPORATION\JPC-7208 BUILDING D ROOF REPLACEMENT\DWGS\WORKING SET\STRUCTURAL\JPC-BLDG-D-S-001



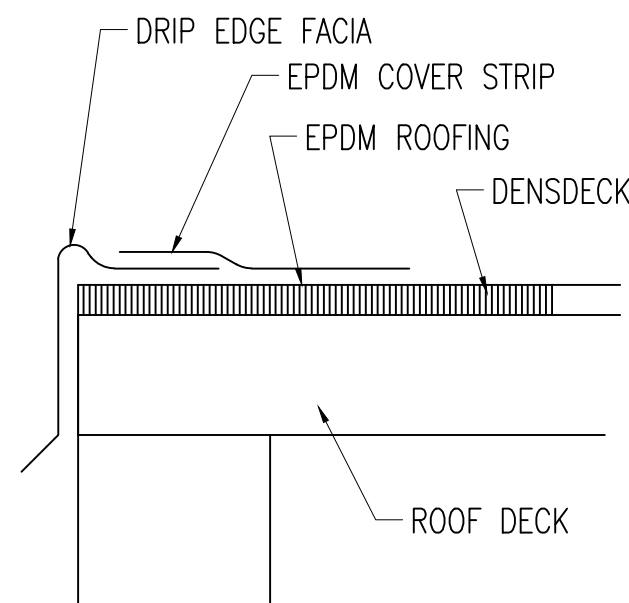
SECTION A-A
SCALE: 3" = 1'-0"



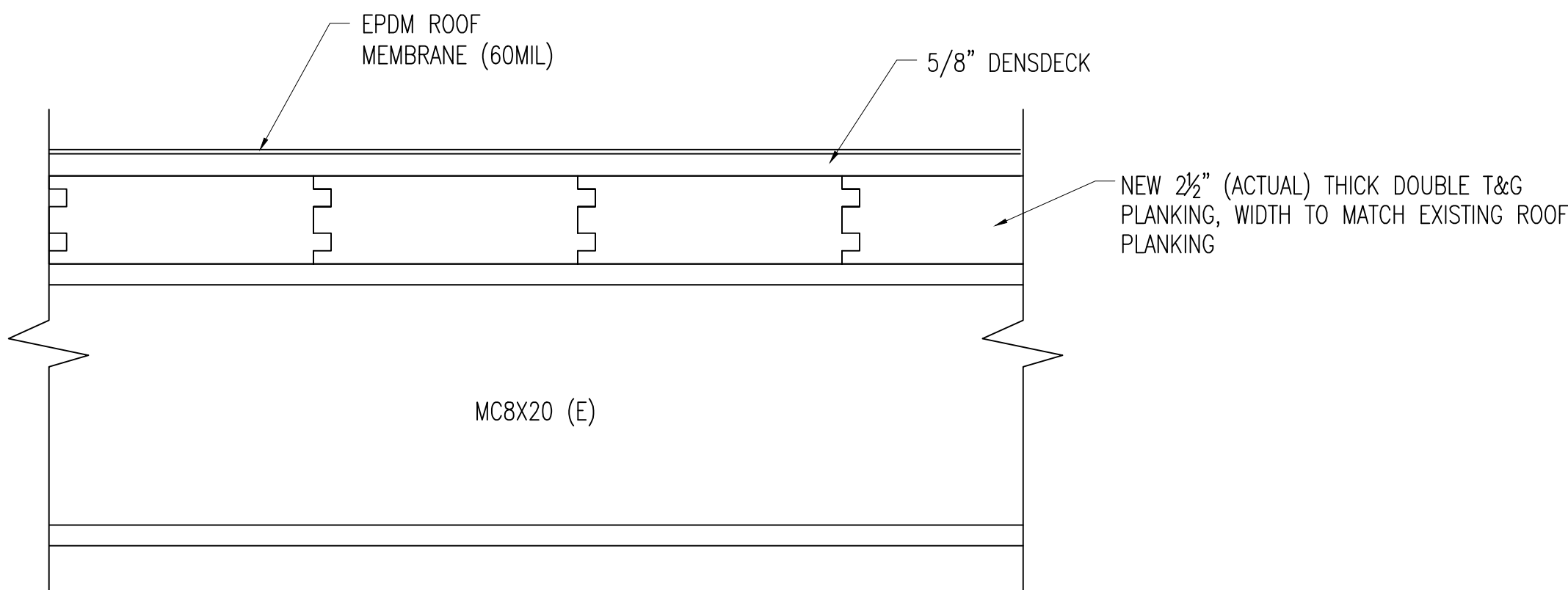
SECTION B-B
SCALE: 3" = 1'-0"



RIDGE DETAIL
SCALE: 3" = 1'-0"



EDGE DETAIL
SCALE: 3" = 1'-0"



DOUBLE TONGUE AND GROOVE DETAIL
SCALE: 3" = 1'-0"

NOTES:

1. TONGUE-AND-GROOVE WOOD DECKING TO BE PROVIDED AND INSTALLED IN ACCORDANCE WITH AMERICAN FOREST & PAPER ASSOCIATION PUBLICATION WCD2.
2. DECKING SHALL BE 3-INCH NOMINAL (2½") #1 SOUTHERN PINE, OR EQUIVALENT.
3. PLANKS TO BE END MATCHED.
4. MINIMUM BENDING STRESS = 1200 PSI.
5. MINIMUM MODULUS OF ELASTICITY = 1,200,000 PSI.
6. PRE-TREAT NEW PLANKS WITH A CLASS A FIRE RETARDANT, SUCH AS FLAME STOP II.
7. INSTALL TONGUE-AND-GROOVE DECKING WITH THE TONGUE UP SLOPE.
8. ASSUME 40% OF THE EXISTING ROOF DECKING (NOT INCLUDING NEW INFILL) WILL BE REPLACED FOR PRICING PURPOSES.
9. ALL STEEL SHALL BE HOT DIPPED GALVANIZED, INCLUDING STAIRS AND HANDRAILS/GUARDRAILS.
10. EXISTING STAIR TOWERS FOR GROUND ACCESS FROM THE ROOF HAVE NOT BEEN INSPECTED. IT IS ASSUMED THAT THE TOWERS ARE IN SUFFICIENT CONDITIONS FOR EGRESS PURPOSES. MODIFICATION OF THESE STAIR TOWERS, OTHER THAN WHAT IS SHOWN ON THESE DRAWINGS, ARE NOT WITHIN THE SCOPE OF THIS PROJECT.

SJPC



SEAL:



RICHARD M. JERVIS JR., P.E. DATE
NEW JERSEY PROFESSIONAL ENGINEER
LIC. NO. 43283

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(609) 945-8000

NO.	DATE:	REVISION DESCRIPTION
A	04/11/25	ISSUED FOR REVIEW
B	05/05/25	ISSUED FOR FINAL REVIEW
C	06/13/25	ISSUED FOR BID

PROJECT:

D BUILDING ROOF REPLACEMENT
& INTERIOR STAIR
BROADWAY MARINE TERMINAL
2500 BROADWAY
CAMDEN, NJ
CAMDEN COUNTY

MAP:	0408_455_1	LOT:	455-1
SCALE:	AS SHOWN	TASK:	
PLOT DATE:	3/03/2025	PROJECT NO:	SJPC-7208
DRAWN BY:	RHH	REVIEWED BY:	APB

DRAWING TITLE:

ROOFING
SECTIONS & DETAILS

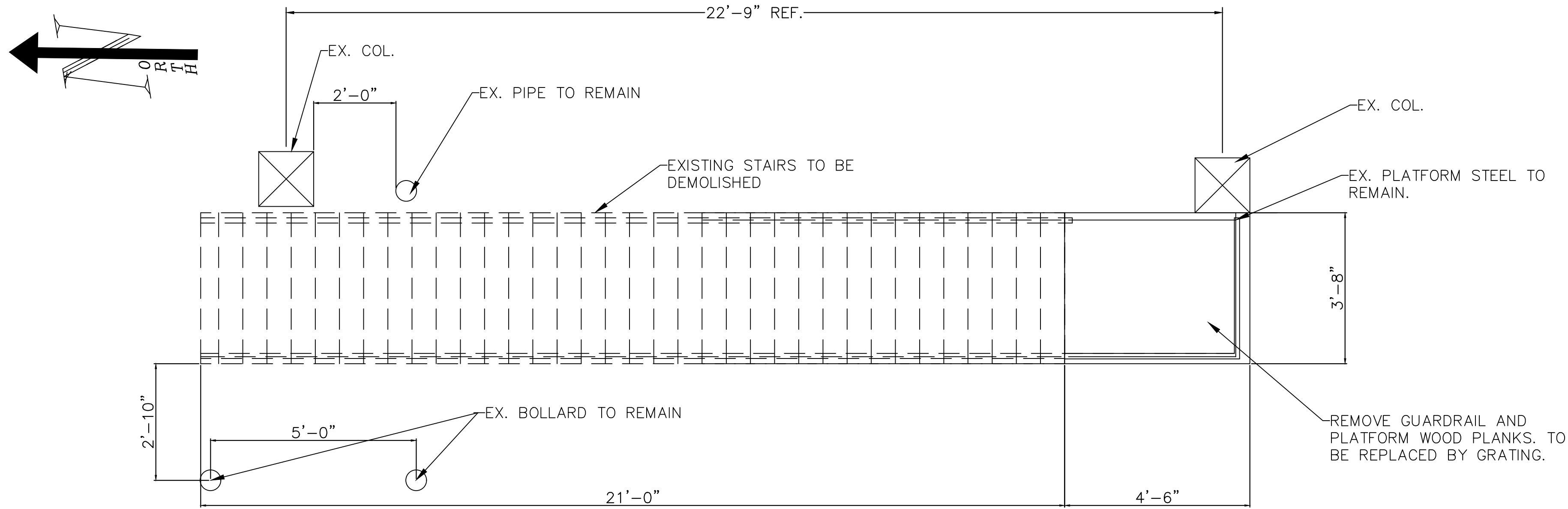
DRAWING NO.:

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SHEET NO.:

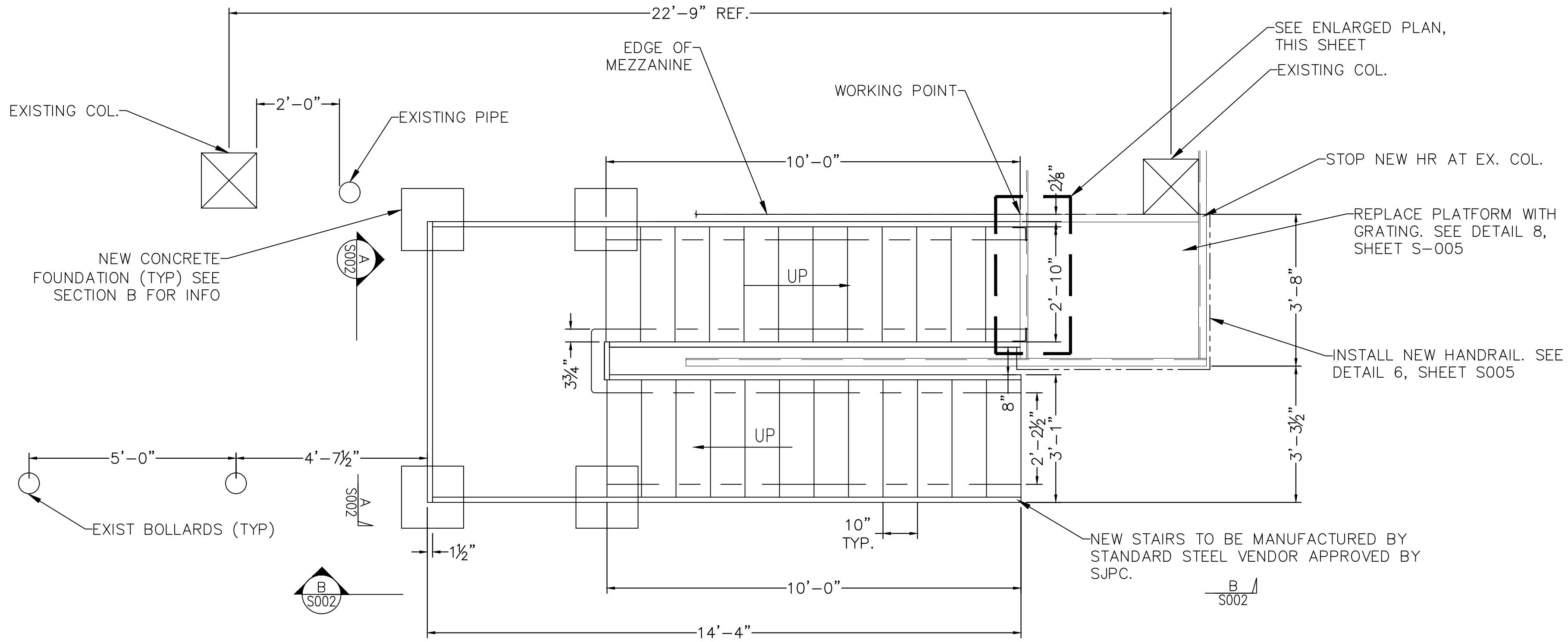
9 OF 11

M:\DEDATA\PROJECTS\SOUTH JERSEY PORT CORPORATION\SJPC-6604 24-E1 D BUILDING STAIRS TO LOFT BUILDINGS\DWGS - WORKING SET\STRUCTURAL\BUILDING STAIRS



EXISTING STAIRS DEMO PLAN

SCALE: $\frac{1}{2}$ " = 1'-0"



NEW STAIRS LAYOUT

SCALE: $\frac{1}{2}$ " = 1'-0"

MATERIALS

- STRUCTURAL STEEL UNLESS NOTED OTHERWISE ON THE PLANS SHALL CONFORM TO THE FOLLOWING:
 - ASTM A992, GRADE 50 FOR ALL STEEL EXCEPT AS OTHERWISE NOTED. (ASTM A572 GRADE 50 STEEL IS AN ACCEPTABLE SUBSTITUTION).
 - ASTM A36, FY=36 KSI FOR ANGLES, CHANNELS AND PLATES
 - ASTM F1554 GRADE 36, FY=36 KSI (U.N.O.) FOR ANCHOR BOLTS, GALVANIZED.
 - BOLT SIZES SHALL BE NOTED ON DRAWINGS, ASTM A325N GALVANIZED.

CONNECTIONS

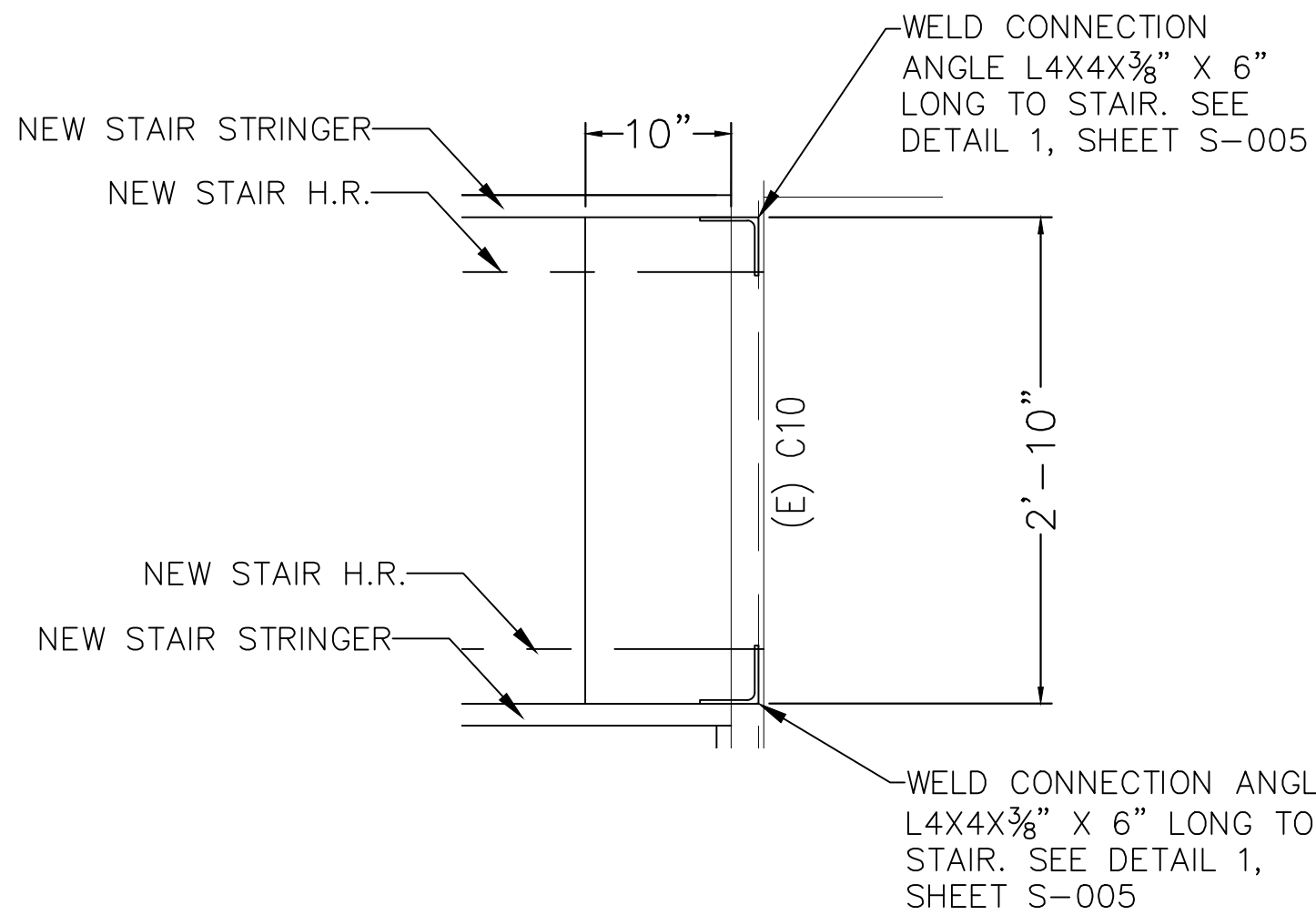
- WELDED CONNECTIONS SHALL BE E70XX AND BOLTS SHALL COMPLY WITH ASTM A325N STANDARDS (U.N.O.). ALL STRUCTURAL WELDS SHALL BE MADE BY CERTIFIED WELDERS. WELDING SHALL CONFORM TO AWS D1.1 "STRUCTURAL WELDING CODE-STEEL", LATEST EDITION.
- ALL STEEL CONNECTION SHALL CONFORM TO AISC "STEEL CONSTRUCTION" - 14TH EDITION. UNLESS GREATER REACTIONS ARE INDICATED, MINIMUM SHEAR CONNECTIONS SHALL BE DESIGNED TO DEVELOP THE FULL CAPACITY OF THE TOTAL NUMBER OF BOLTS. SEE DWG. STR-20-143 FOR MOMENT CONNECTION DETAILS. NO SHEAR TABS ARE TO BE USED ON MOMENT CONNECTIONS.
- FIELD BOLTED CONNECTIONS SHALL BE TESTED AND INSPECTED ACCORDING TO RCSC'S "SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS", LATEST EDITION. IN ADDITION TO VISUAL INSPECTION, WELDED CONNECTIONS WILL BE INSPECTED AND TESTED ACCORDING TO AWS D1.1 PROCEDURES.

STEEL GRATING NOTES

- GRATING SHALL BE BOLTED TO THE SUPPORTING STEEL, U.N.O. ALL CONNECTIONS SHALL BE MADE PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
- U.N.O. GRATING SHALL BE $1\frac{1}{4}$ " X $\frac{3}{16}$ ", TYPE W-19-4, NON-SERRATED GRATING, GALVANIZED PER ASTM 123..

METAL STAIR, GUARDRAIL AND HANDRAIL NOTES

- CONTRACTOR SHALL PROVIDE METAL STAIRS INCLUDING THE POSTS AND CONNECTIONS CAPABLE OF WITHSTANDING THE EFFECTS OF GRAVITY LOADS AND THE FOLLOWING LOADS AND STRESSES WITHIN LIMITS AND UNDER CONDITIONS INDICATED:
 - UNIFORM LOAD: 100 PSF
 - CONCENTRATED LOAD: 300 LB APPLIED ON AN AREA OF 4 SQ. IN.
 - UNIFORM AND CONCENTRATED LOADS NEED NOT BE ASSUMED TO ACT CONCURRENTLY.
 - STAIR FRAMING: CAPABLE OF WITHSTANDING STRESSES RESULTING FROM RAILING LOADS IN ADDITION TO LOADS SPECIFIED ABOVE.
 - LIMIT DEFLECTION OF TREADS, PLATFORMS AND FRAMING MEMBERS TO $L/360$ OR $\frac{1}{4}$ ", WHICHEVER IS LESS.
- PROVIDE RAILINGS CAPABLE OF WITHSTANDING THE EFFECTS OF GRAVITY LOADS AND THE FOLLOWING LOAD AND STRESSES WITHIN LIMITS AND UNDER CONDITIONS INDICATED:
 - HANDRAILS:
 - UNIFORM LOAD OF 50 LB/FT APPLIED IN ANY DIRECTION.
 - CONCENTRATED LOAD OF 200 LBS APPLIED IN ANY DIRECTION.
 - UNIFORM AND CONCENTRATED LOADS NEED NOT BE ASSUME TO ACT CONCURRENTLY.
 - TOP RAILS OF GUARD RAILS:
 - UNIFORM LOAD OF 50 LB/FT APPLIED IN ANY DIRECTION.
 - CONCENTRATED LOAD OF 200 LB APPLIED IN ANY DIRECTION.
 - UNIFORM AND CONCENTRATED LOADS NEED NOT BE ASSUMED TO ACT CONCURRENTLY.
 - INFILL OF GUARDS:
 - CONCENTRATED LOAD OF 50 LB APPLIED HORIZONTALLY ON AN AREA OF 1 SQ. FT.
 - UNIFORM LOAD OF 25 PSF APPLIED HORIZONTALLY.
 - INFILL LOAD AND OTHER LOADS NEED NOT BE ASSUMED TO ACT CONCURRENTLY.
- SEISMIC PERFORMANCE: PROVIDE METAL STAIRS CAPABLE OF WITHSTANDING THE EFFECTS OF EARTHQUAKE MOTIONS DETERMINED ACCORDING TO ASCE 7, "MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES.
- ALL STAIRS, GUARDRAILS AND HANDRAILS SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE WHERE THE PROJECT IS LOCATED, EMPLOYED BY THE CONTRACTOR. SUBMIT SHOP DRAWINGS TO ENGINEER OF RECORD FOR REVIEW.



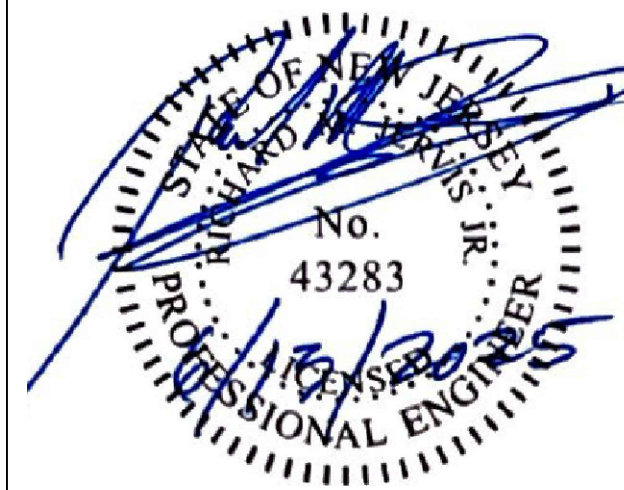
ENLARGED PLAN

SCALE: 1" = 1'-0"

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NO.	DATE:	REVISION DESCRIPTION
0	08/14/2024	IFC
1	08/13/2025	IFC - COMBINE W/ ROOF

PROJECT:

SJPC BUILDING STAIRSS
2500 Broadway
Camden, NJ 08104

MAP:	N.A.	LOT:	N.A.
SCALE:	AS SHOWN	TASK:	
PLOT DATE:	07-18-2024	PROJECT NO:	SJPC-6604
DRAWN BY:	CKY	REVIEWED BY:	APB

DRAWING TITLE:

INTERIOR STAIRS
LAYOUT PLAN

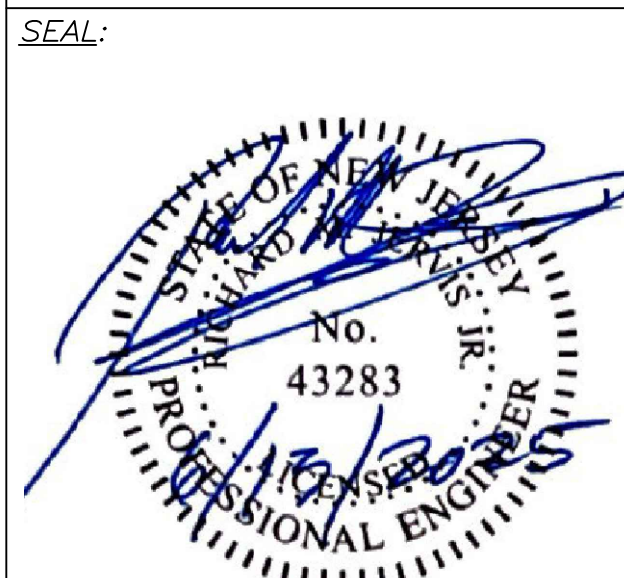
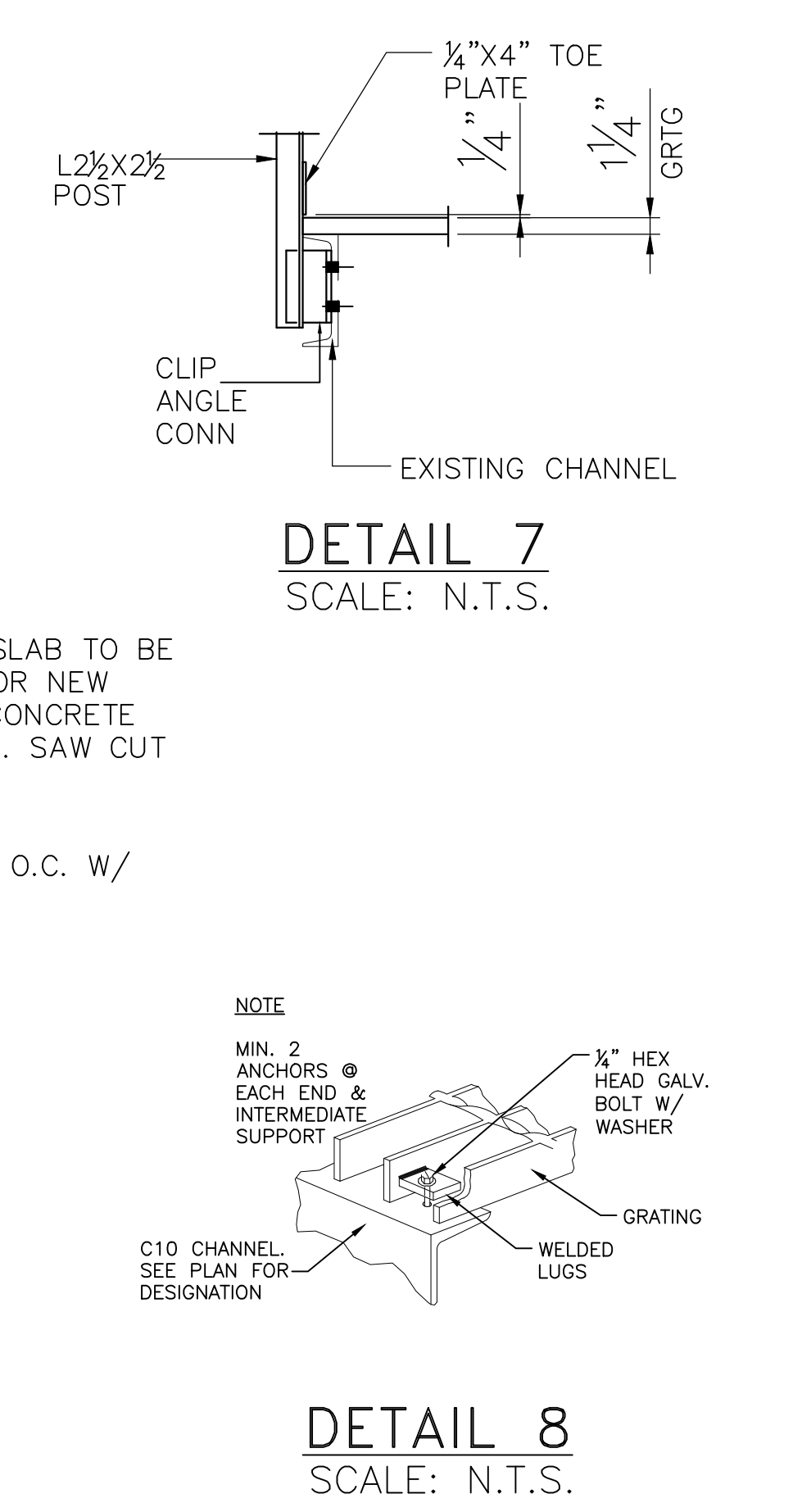
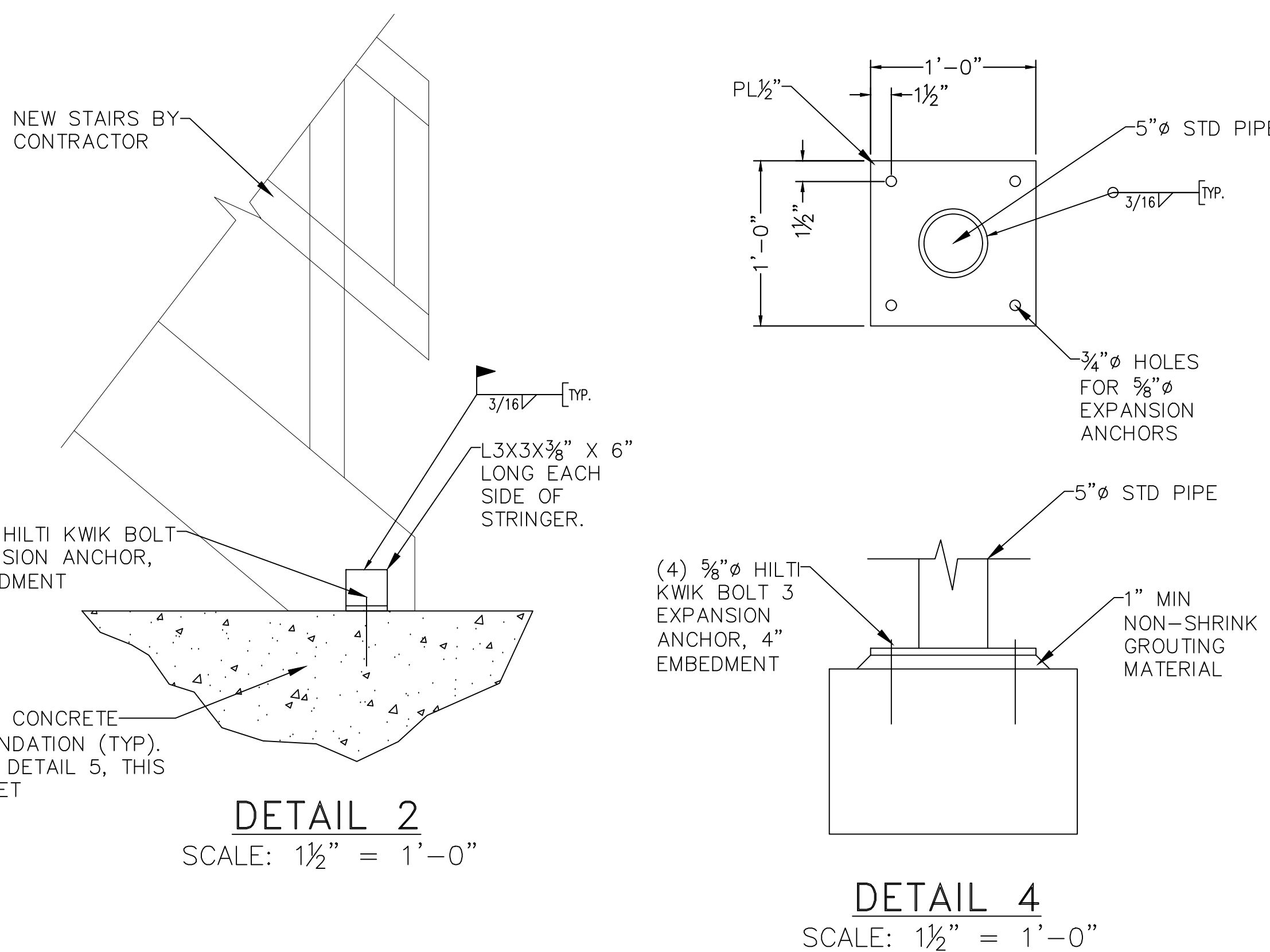
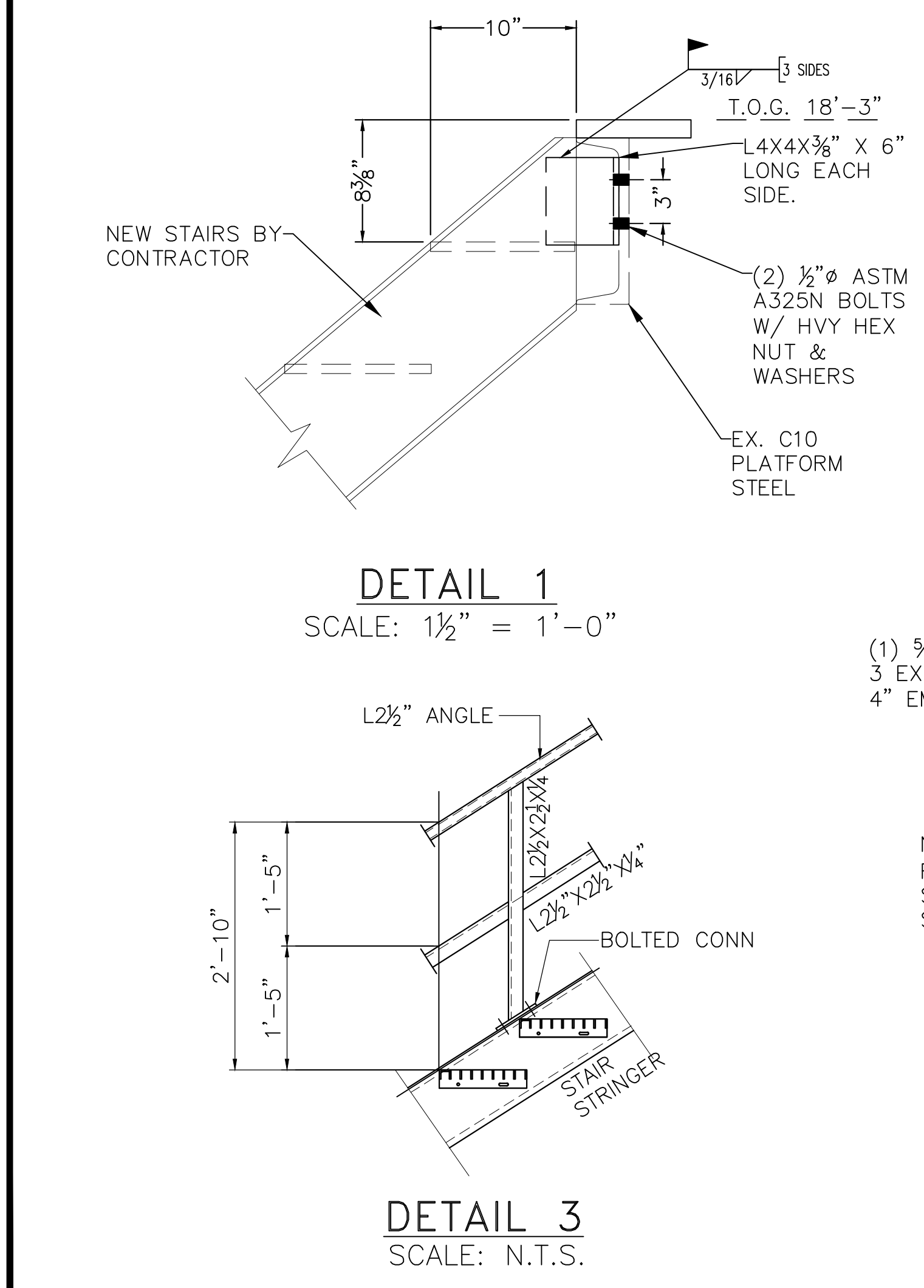
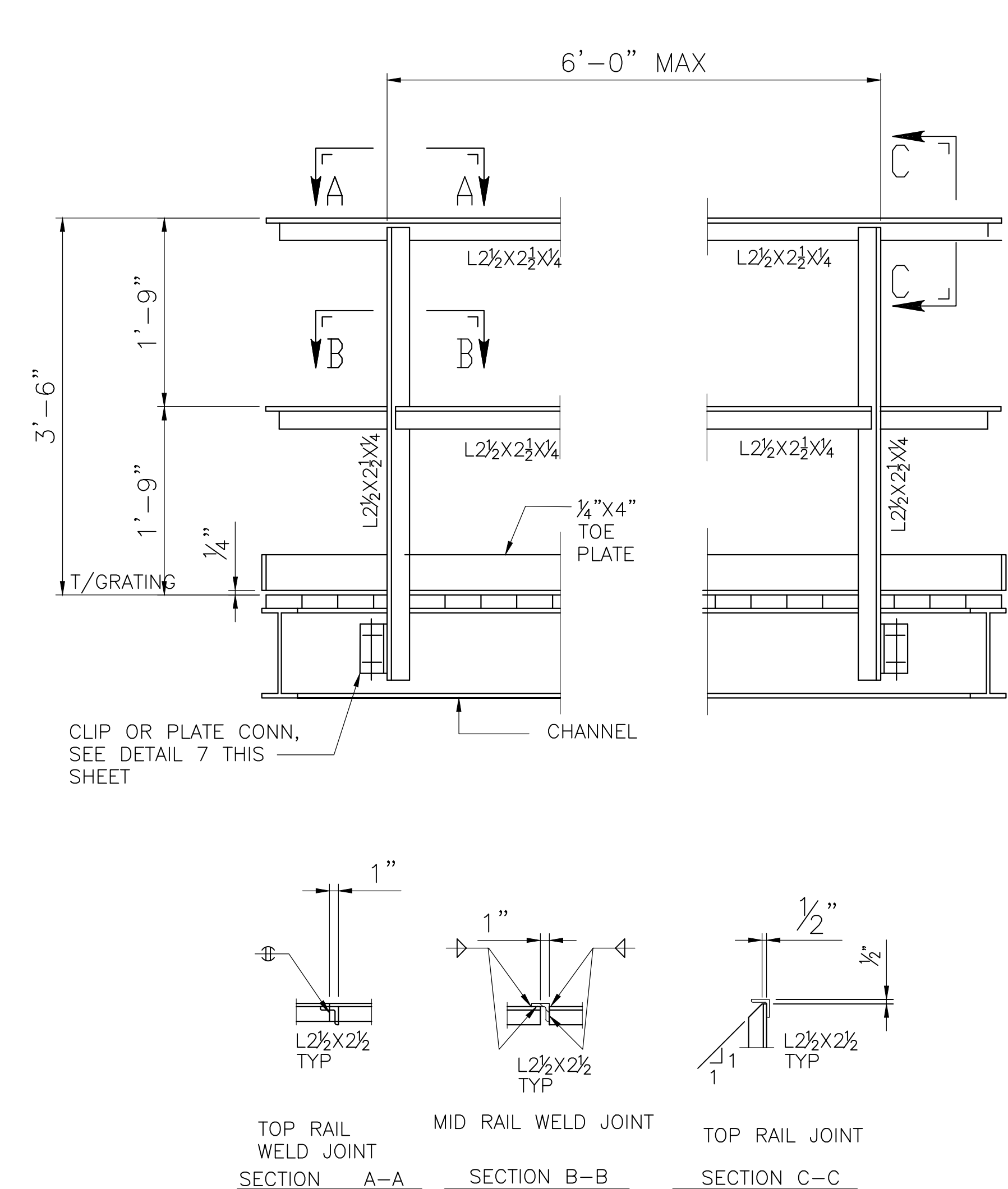
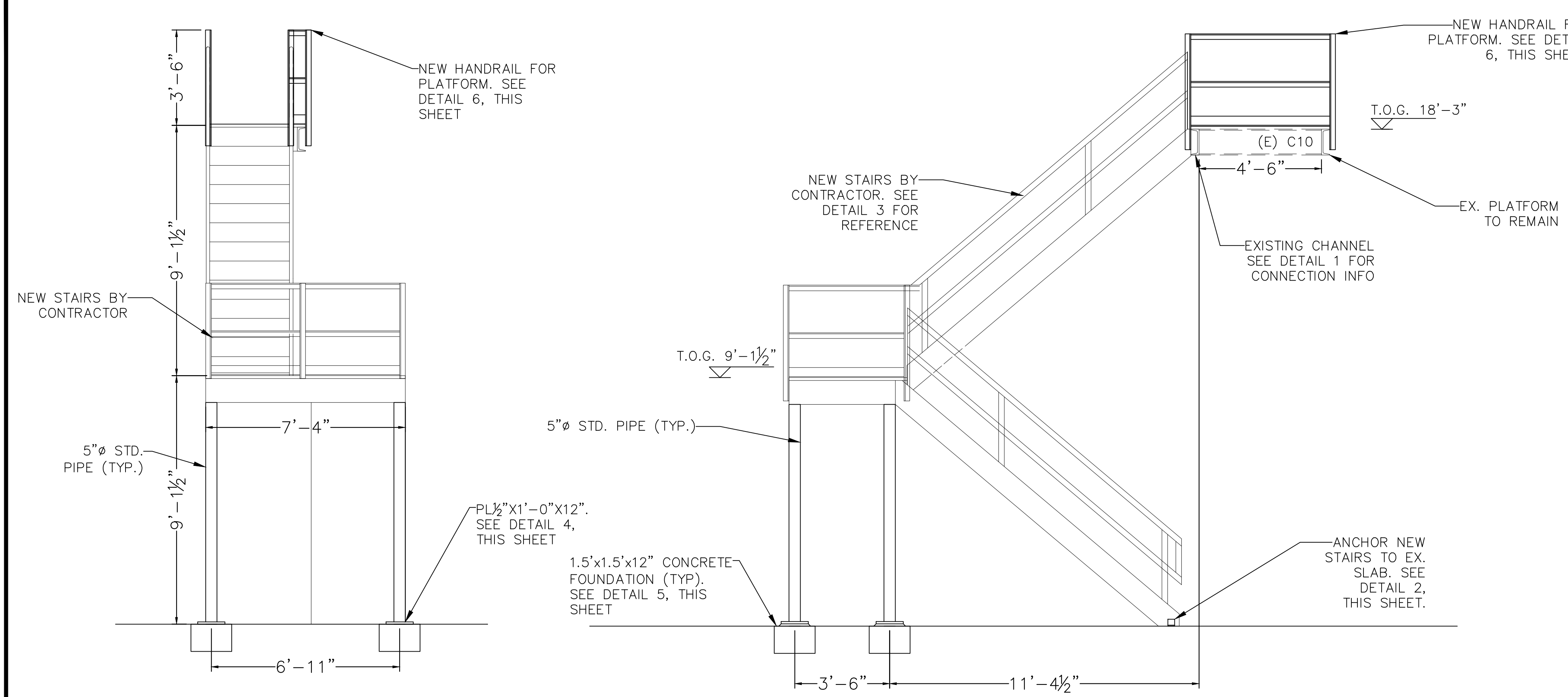
DRAWING NO.:

SJPC-BLDG-D-S-004

SHEET NO.:

10 OF 11

M:\DETAILED PROJECTS\ISOUTH JERSEY PORT CORPORATION\USJPC-6604 24-E1-D BUILDING STAIRS TO LOFT BUILDING\DWGS - WORKING SET\STRUCTURAL\BUILDING STAIRS



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NO.	DATE:	REVISION DESCRIPTION
0	08/14/2024	IFC
1	08/13/2025	IFC - COMBINE W/ ROOF

PROJECT:

SJPC BUILDING STAIRS
2500 Broadway
Camden, NJ 08104

MAP: N.A.	LOT: N.A.
SCALE: AS SHOWN	TASK:
PLOT DATE: 07-18-2024	PROJECT NO: SJPC-6604
DRAWN BY: CKY	REVIEWED BY: APB

DRAWING TITLE:

INTERIOR STAIRS
DETAILS

DRAWING NO.:

SJPC-BLDG-D-S-005

SHEET NO.:

11 OF 11